

# Esperanza Village Specific Plan

**Specific Plan SP-5**

## City of El Monte

11333 Valley Boulevard

El Monte CA, 91731

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## **1.0 Introduction**

### **1.1 Purpose and Intent of the Specific Plan**

A specific plan is a tool provided by California Government Code Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457 for the systematic implementation of a city's general plan. A specific plan establishes a link between implementing policies of a city's general plan and development proposals within a defined area. While a city's general plan is the primary guide for growth and development within a city as a whole, a specific plan focuses in more detail on a defined specific plan area. A specific plan tailors land uses and zoning regulations in a specific plan area to accommodate a desired mix of uses with standards and guidelines.

The Esperanza Village Specific Plan (Specific Plan) is a comprehensive policy and regulatory guidance document for the use and development within the Specific Plan area. The Specific Plan defines the uses that are permitted and their location, as well as the standards and design guidelines for buildings and related improvements in the Specific Plan area. It ensures that the Specific Plan area is developed in a coordinated manner with adequate consideration of infrastructure and public services. The Specific Plan implements the City of El Monte General Plan goals and policies as they relate to development in the Specific Plan area. The Esperanza Village Specific Plan (SP-5) was approved by the City of El Monte City Council on November 29, 2022 and constitutes the zoning for the Specific Plan area. Development plans, development agreements, tract maps, site plans and any other actions requiring ministerial or discretionary approval in the Specific Plan area must be consistent with the Specific Plan and City of El Monte General Plan.

This Specific Plan contains all components required by State law, as well as other components, standards, and guidelines desired by the City of El Monte (City) to implement the El Monte General Plan. Overall, the primary purpose and vision of the Specific Plan is to:

- Provide a mix of affordable multi-family residential dwelling units, community-serving facilities, and open space and recreational areas that serve the need of residents within and surrounding the Specific Plan area;
- Ensure that development in the Specific Plan area would be compatible with the surrounding residential neighborhood in design and use;
- Ensure that development in the Specific Plan area is well designed and of high quality; and
- Create a cohesive development through architectural and landscape design.

Implementation of the Esperanza Village Specific Plan provides the parameters for desirable, infill development. The Esperanza Village Specific Plan is not intended to be an inflexible document; rather it has been developed to provide as much flexibility as allowed by State law and by local ordinance. The Specific Plan may be amended over time to reflect the City of El Monte's most current vision for the Specific Plan area.

### **1.2 Setting**

#### **1.2.1 Regional Setting**

The City of El Monte is located in the San Gabriel Valley, approximately 14 miles east of downtown Los Angeles. The City is located in close proximity to other communities in the San Gabriel Valley, such as the cities of Rosemead and San Gabriel to the west, the cities of Baldwin Park and West Covina to the east, the cities of Temple City and Arcadia to the north, and the city of South El

Monte and unincorporated Whittier Narrows to the south.

The Esperanza Village Specific Plan area is located in the eastern portion of the City of El Monte, approximately 0.25 mile west of Interstate 605, 0.4 miles north of Interstate 10, and 0.1 miles west of the San Gabriel River. **Figure 1-1** shows the regional location of the Specific Plan area.

### 1.2.2 Local Setting

The Esperanza Village Specific Plan area is rectangular in shape and consists of the entire 13.66-acre Los Angeles County-owned MacLaren Hall property at 4024 Durfee Avenue. The Specific Plan Area is bounded by Durfee Avenue to the west with residences, a church, and an assisted living facility across the street, Kerrwood Street to the north with residences across the street, Gilman Road to the east with residences and Twin Lakes Elementary School across the street, and residences to the south.

One- and two-story residences generally surround the Specific Plan area to the west, north, east, and south. An assisted living facility (California Villa) and a church are located across the street from the Specific Plan area on Durfee Avenue. The Eastland Subacute and Rehabilitation Center is located on Durfee Avenue, approximately 260 feet southwest of the Specific Plan area. Twin Lakes Elementary School is located to the east, across the street on Gilman Road.

The properties to the west, north, and south of the Specific Plan area are in the Medium-Density Multiple-Family Dwelling (R-3) Zoning District and has a General Plan land use designation of Medium Density Residential. The properties to the east are in the One-Family Dwelling (R-1A) and R-3 Zoning Districts. These R-1A and R-3 Zoning Districts have corresponding General Plan land use designations of Low Density Residential and Medium Low Density Residential, respectively. Twin Lakes Elementary School is in the Public Facilities (PF) Zoning District and has a General Plan land use designation of PF. South of Twin Lakes Elementary School, the properties are in the Low-Density Multiple-Family Dwelling (R-2) Zoning District and has a General Plan land use designation of Medium Low Density Residential. The location of the Specific Plan Area and the surrounding uses are shown in **Figure 1-2**.

## 1.3 Background

From the 1960s until the early 2000s, MacLaren Children's Center operated on the MacLaren Hall property as a Los Angeles County ("County") facility housing foster youth for short-term stays. As part of the County's foster care system, MacLaren Children's Center provided temporary residential care for displaced children prior to being placed in foster homes; children spent varying amounts of time at the facility. In the 1980's, MacLaren Children's Center had problems with inadequate care and overcrowding. Despite improvements, conditions continued to be inadequate, and the facility closed in 2003.

The MacLaren Hall property has 12 existing structures (164,000 square feet in total) and open space areas that were designed and constructed in the mid-1970s for the MacLaren Children's Center. The structures include three (3) prefabricated trailers, an office building that was formerly used by the Los Angeles County Probation Department and Department of Public Social Services, a school/maintenance building, a cafeteria building, and six (6) dormitories. The south side of the school/maintenance building has a cement deck, a small pool shed building, one (1) small pool, and a larger rectangular swimming pool. Parts of the office building and school/maintenance building are now occupied by the Los Angeles County Department of Children and Family Services administrative offices, Alma Family Services, and a Los Angeles County Department of Health Services medical clinic. The trailers, cafeteria building, and dormitories are vacant.



Figure 1-2: Specific Plan Area and Surrounding Area



The Specific Plan area has been underutilized since the closure of the MacLaren Children’s Center, and there is an opportunity to redevelop the underutilized property to better serve the surrounding community. The Esperanza Village Specific Plan was approved by the El Monte City Council on November 29, 2022. The Specific Plan permits higher density affordable housing, community-serving facilities, Los Angeles County-related uses, and open space and recreational uses that serve the needs of the community. The Esperanza Village Specific Plan is being amended and will permit similar uses as the approved Specific Plan but at a lower density.

**1.4 Project Overview**

The Esperanza Village Specific Plan area consists of two (2) contiguous parcels (Assessor’s Parcel Numbers [APN] 8549-004-900 and 8549-005-900 [Lots 5, 6, 7, 8, and 9]). Tentative Tract Map No. 83843 will subdivide the Specific Plan area into six (6) parcels: two (2) residential parcels, one (1) non-residential mix-use parcel, one (1) circulation/common area parcel, one (1) County parcel, and one (1) community park parcel. The Specific Plan will accommodate up to 202 affordable multi-family residential dwelling units in two (2) three-story residential buildings (total gross floor area of approximately 183,500 square feet), one (1) two-story approximately 45,900-square foot non-residential mix-use building with community-serving and County-related facilities, 382 surface parking stalls, and a 5.60-acre Community Park. **Figure 1-3** identifies the parcel locations.

**1.5 Relationship to Other Planning Documents**

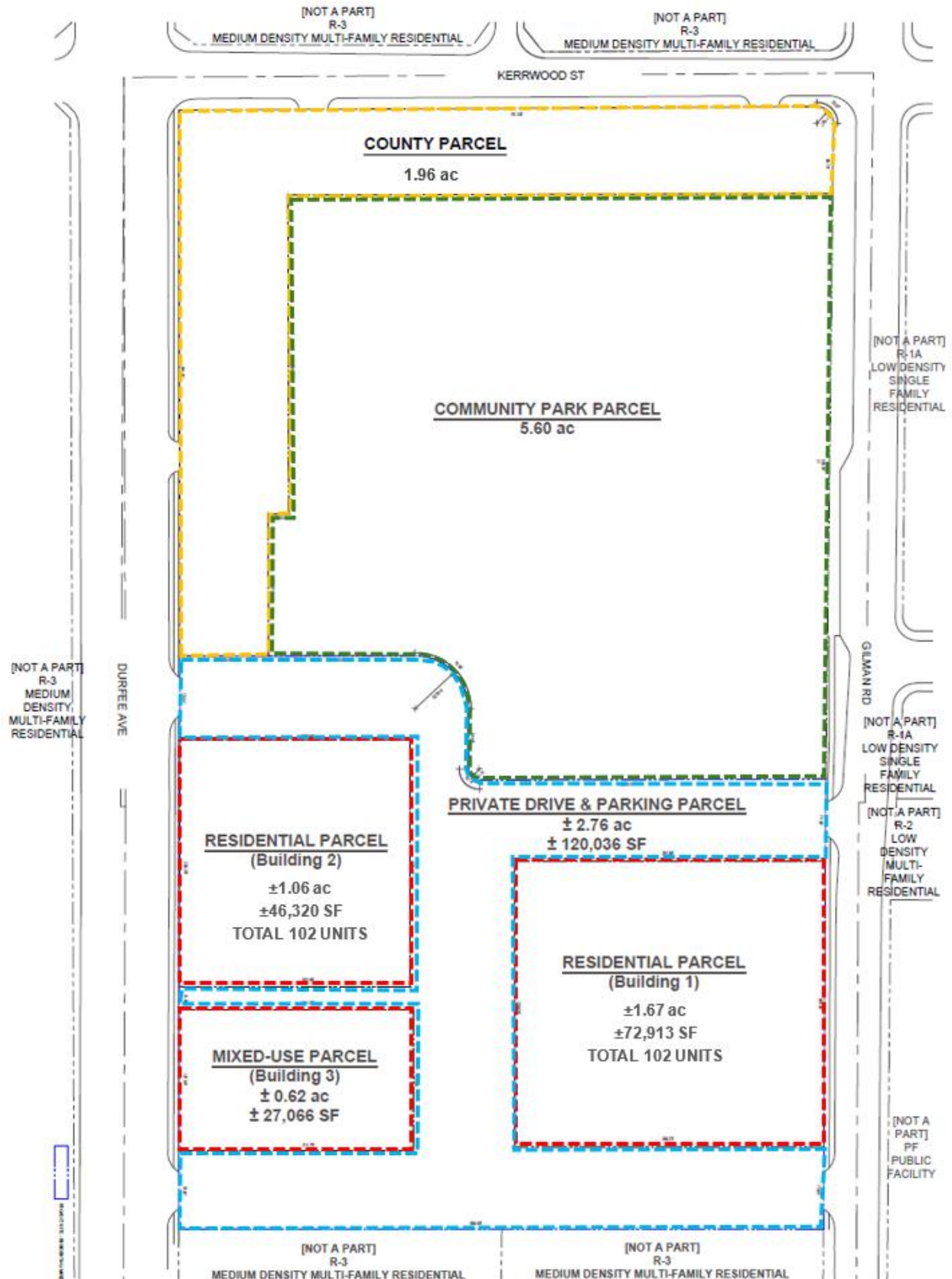
**1.5.1 City of El Monte General Plan**

The City of El Monte General Plan is a document designed to guide the growth and development of the City. The General Plan describes the City’s goals and strategies regarding community design, land use, housing, parks and recreation, circulation, economic development, public services and facilities, cultural resources, public health and safety, and health and wellness. California law requires cities to adopt a general plan that provides the policy framework for the long-term physical development of the community. The City of El Monte General Plan expresses the community’s development goals and provides specific public policy relative to the public and private uses of land in the community.

The General Plan land use designation for the Specific Plan area was changed from Public Facility to Esperanza Village Specific Plan (SP-5) in 2022. Pursuant to California Government Code Section 65454, a specific plan must be consistent with the local jurisdiction’s general plan. The Esperanza Village Specific Plan was demonstrated to be consistent with the goals and policies set forth in the City of El Monte General Plan. The Specific Plan is being amended to reduce the density of the Specific Plan area. The types of uses that will be permitted in the Specific Plan area remain unchanged but the permitted uses would be located in different subareas.

While the City of El Monte General Plan covers the entire City, the Esperanza Village Specific Plan concentrates on the individual development issues of the 13.66-acre Esperanza Village Specific Plan area. The Esperanza Village Specific Plan provides regulations, standards, and guidelines for development in the Specific Plan area to ensure that applicable General Plan policies are implemented and to ensure that development in the Specific Plan area is consistent with and furthers the goals and policies of the City of El Monte’s General Plan. Appendix A provides a consistency analysis between the related goals and policies of the General Plan with the amended Esperanza Village Specific Plan.

**Figure 1-3: Parcel Diagram**



The amended Esperanza Village Specific Plan will be the device for implementing the City of El Monte General Plan in the Specific Plan area. Development plans, site plans, and tentative tract maps must be consistent with both the amended Esperanza Village Specific Plan and the City's General Plan.

### **1.5.2 City of El Monte Zoning Ordinance**

The City of El Monte Zoning Ordinance provides land use standards and regulations for site-specific development in the City of El Monte. El Monte Municipal Code (EMMC) Section 17.130.010 states that the specific plan zoning designation serves as a planning tool to enhance development options when current zoning does not adequately provide for an optimal design or development program. The intent of the specific plan zoning designation is to 1) promote comprehensive planning for quality land development with a viable program for building the infrastructure necessary to support it; 2) encourage a more efficient use of land; 3) encourage a range of housing and employment activities; 4) encourage the implementation of sustainable community design principles, use of renewable construction materials, and incorporation of environmental friendly design concepts when possible; and 5) facilitate development by permitting greater flexibility and encouraging more creative design development projects. The uses, types of development, and development standards in an area zoned specific plan are those permitted by the specific plan adopted for that area. Each separate specific plan district and its accompanying specific plan are sequentially numbered.

In 2022, the zoning code and zoning map was amendment to establish the Esperanza Village Specific Plan. The zoning for the Esperanza Village Specific Plan area was changed from Public Facilities to Specific Plan (SP-5 – Esperanza Village Specific Plan) . Uses permitted in the Esperanza Village Specific Plan area include affordable multi-family residential units for individuals, families, and seniors; a mix of community-serving facilities; Los Angeles County-related facilities;, and a Community Park. The Specific Plan Amendment will amend the development standards and design guidelines for the Esperanza Village Specific Plan to be lower in density than the approved Specific Plan. The types of uses permitted in the Specific Plan area will remain unchanged.

This Specific Plan document contains applicable land use regulations for the Esperanza Village Specific Plan area. It customizes the standards and regulations found in the City Zoning Ordinance to help implement the Esperanza Village Specific Plan. In any instance where the Specific Plan conflicts with the requirements of the Zoning Ordinance, the Specific Plan provisions will take precedence. Where the Specific Plan is silent on a topic, the City of El Monte Zoning Ordinance requirements remain in force.

## **1.6 Authority and Scope**

The amended Esperanza Village Specific Plan has been prepared pursuant to the provisions of California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457). California Government Code grants cities the authority to adopt specific plans by resolution (as a policy driven plan) or by ordinance (as a regulatory plan). The City of El Monte adopts and amends specific plans by code of ordinance per EMMC Title 17, Division 13, Chapter 17.130. Public hearings by both the Planning Commission and the City Council are required for formal amendments to the Specific Plan, after which the Specific Plan amendment must be adopted by the City Council. The Specific Plan may be amended as often as deemed necessary by the City Council, in compliance with Section 65453 of the California Government Code.

The amended Esperanza Village Specific Plan serves as both a regulatory and policy document to guide development of the Specific Plan area. As a policy and regulatory guidance document, the amended Specific Plan provides standards, regulations, and design guidelines to ensure that land use, intensity, and scale of development in the Specific Plan area implements the City's goals for the Specific Plan area. This Specific Plan document serves as zoning law for land within the Specific Plan area. Development standards and regulations contained in this Specific Plan document will take precedence over zoning regulations contained in the City of El Monte's Municipal Code (EMMC) for all developments within the Specific Plan area.

California Government Code Sections 65450 through 65457 establish the authority to adopt and amend a specific plan, identify the required contents of a specific plan, and mandate consistency with the General Plan. According to California Government Code Section 65451:

- (a) A specific plan shall include text and a diagram which specify all of the following in detail:
  1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
  2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
  3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
  4. A program of implementation measures including regulations, programs, public works projects, and financing measures, necessary to carry out items (1), (2) and (3).
- (b) The specific plan shall include a statement of the relationship of the specific plan to the General Plan.

The scope of subjects covered in this Specific Plan includes each of the required element listed above, as well as the requirements listed in EMMC Chapter 17.130 (Specific Plans). This Specific Plan establishes the essential link between the policies of the General Plan and the Esperanza Village Specific Plan area.

## 1.7 Specific Plan Policy Framework

The Specific Plan Policy Framework provides the primary policy guidance for this document. All future development and redevelopment within the Specific Plan area shall be consistent with and take guidance from the Specific Plan guiding principles and objectives.

### 1.7.1 Guiding Principles

The following guiding principles are intended to allow the Specific Plan area to be developed as it is envisioned. The guiding principles provide the foundation for Chapter 2.0 (Development Plan), Chapter 3.0 (Development Standards and Regulations), and Chapter 4.0 (Design Guidelines).

- **Guiding Principle 1:** Encourage revitalization of an underutilized property by providing a mix of complementary uses that serve the needs of the surrounding community.
- **Guiding Principle 2:** Increase affordable housing opportunities for low-income persons and families, transitional age youth, and senior citizens in a region with severe overcrowding and extremely high housing costs.

- **Guiding Principle 3:** Provide development that is high quality, well designed, and enhances the visual character of the Specific Plan area and the surrounding residential neighborhood.
- **Guiding Principle 4:** Create active recreational amenities that are accessible to residents of the Specific Plan area and the surrounding community.
- **Guiding Principle 5:** Provide community gathering spaces that are accessible to residents, employees, and other users of the Specific Plan area.
- **Guiding Principle 6:** Encourage development that respects the character of the surrounding neighborhood.
- **Guiding Principle 7:** Improve circulation issues along the streets adjacent to the Specific Plan area.
- **Guiding Principle 8:** Provide for and improve the transportation and utility infrastructures to support development in the Specific Plan area.
- **Guiding Principle 9:** Provide neighborhood-serving medical facilities that serve the needs of the residents in the community.

### 1.7.2 Objectives

The Specific Plan objectives are intended to support the goals and policies of the City of El Monte's General Plan. The objectives guide the development of the Specific Plan area to create a community that will be in harmony with surrounding land uses and to develop a distinctive sense of community for its residents. The Specific Plan objectives are designed to implement the Specific Plan Guiding Principles identified above, furthering the overall spirit and intent of the Specific Plan.

- **Objective 1:** Provide affordable housing to low-income persons and seniors that is similar in exterior design to market-rate housing.
- **Objective 2:** Provision of a complimentary mix of residential uses, community-serving facilities, active recreational uses, and offices that serves and meets the needs of the residents in the Specific Plan area and the surrounding community.
- **Objective 3:** Provision of apartment units of various sizes (studios and 1- to 3-bedroom apartments) that are affordable to low-income persons and families, transitional age youths and senior citizens.
- **Objective 4:** Provision of attractive communal gathering spaces and active recreational facilities to meet the recreational and social needs of residents, employees, and visitors of the Specific Plan Area.
- **Objective 5:** Provide higher density development that is designed to complement and is sensitive to the surrounding lower density residential neighborhood.
- **Objective 6:** Provide standards and guidelines that create a cohesive and well-defined identity for Esperanza Village Specific Plan area.
- **Objective 7:** Improve the pedestrian environment through the use of landscaping, pedestrian-scaled lighting, outdoor amenities that encourage communal gatherings, and other pedestrian-friendly features.
- **Objective 8:** Provide on-site and adjacent off-site circulation improvements that address pedestrian mobility and safety.

- **Objective 9:** Provide adequate amount of parking for the Specific Plan area that does not spill over onto the surrounding residential neighborhood.
- **Objective 10:** Create a more sustainable environment by incorporating energy and water conservation strategies.
- **Objective 11:** Ensure that potential environmental impacts associated with development in the Specific Plan area are mitigated to the greatest extent feasible.
- **Objective 12:** Provide infrastructure improvements for water, sewer, storm drains, roads, and utilities that adequately support development in the Specific Plan area.

**1.8 Community Outreach and Public Input**

A series of meetings were conducted to receive community input for development associated with the Specific Plan. A majority of the meetings were held virtually on Zoom due to COVID-19. Many of the community meetings had great community participation, and some community meetings had up to 90 people in attendance. Community outreach that was conducted to obtain public input are presented in **Table 1-1**. Input received through the outreach process was used to inform the vision, policies, standards, and guidelines of the overall Specific Plan area. Main concerns from the community include the management of traffic flows along adjacent streets, parking, neighborhood access to health and wellness services, prioritizing City of El Monte residents when the housing units are available for rent, and safety.

<b>TABLE 1-1: COMMUNITY OUTREACH</b>		
<b>Community Outreach</b>	<b>Location</b>	<b>Date</b>
Community Meeting for the Community Park	Zamora Park	September 12, 2019
Community Meeting for the Community Park	Mountain View Park	November 16, 2019
Community Advisory Committee meeting for the Community Park	Zoom	July 30, 2020
Community workshop for the Community Park	Zoom	August 27, 2020
Community workshop for the Community Park	Zoom	September 2, 2020
Community Advisory Committee meeting for the Community Park	Zoom	September 24, 2020
Community survey for the Community Park	Canvassing the area within 0.5 miles of the Specific Plan area and online via Survey Monkey	September 2020
Community workshop for the Community Park	Zoom	October 22, 2020
Community workshop for the Community Park	Zoom	October 26, 2020
Community Advisory Committee meeting for the Community Park	Zoom	November 12, 2020
Open House for the final site design of the Community Park	Zoom	November 21, 2020
Community workshop for the Community Park	Zoom	March 6, 2021
Community Advisory Committee meeting for the residential and mixed-use development	Zoom	February 24, 2022
Community meeting for the residential and mixed-use development	Mountain View Park	March 12, 2022

<b>TABLE 1-1: COMMUNITY OUTREACH</b>		
<b>Community Outreach</b>	<b>Location</b>	<b>Date</b>
Youth Advisory Meeting for the residential and mixed-use development	Zoom	April 28, 2022
Community Advisory Committee meeting for the residential and mixed-use development	Zoom	September 7, 2022
Community meeting for the residential and mixed-use development	Mountain View Park	September 10, 2022
Planning Commission Study Session for the residential and mixed-use development	El Monte City Hall East Council Chambers and Zoom	September 13, 2022
Planning Commission Public Hearing for the residential and mixed-use development and Specific Plan	El Monte City Hall East Council Chambers and Zoom	October 11, 2022
City Council Public Hearing for the residential and mixed-use development and Specific Plan	El Monte City Hall East Council Chambers and Zoom	November 1, 2022
City Council Public Hearing for the residential and mixed-use development and Specific Plan	El Monte City Hall East Council Chambers and Zoom	November 15, 2022

### 1.9 California Environmental Quality Act Compliance

The Esperanza Village Specific Plan is a discretionary project and is subject to the requirements of the California Environmental Quality Act (CEQA). In accordance with CEQA, an Initial Study and Mitigated Negative Declaration (IS/MND) were prepared addressing the impacts associated with development of the Esperanza Village Specific Plan. The IS/MND was made available to the public on August 23, 2022. Public comment period ended on September 15, 2022. A study session was held with the Planning Commission on September 13, 2022 to present the scope of the environmental review and updates to the project. Pursuant to the State CEQA Guidelines, the IS/MND was considered and adopted by the City of El Monte on November 15, 2022. An Addendum to the adopted IS/MND has been prepared pursuant to CEQA Guidelines 15164. The changes or additions associated with the amended Specific Plan do not meet any of the conditions described in CEQA Guidelines Section 15162 that calls for the preparation of a subsequent EIR or IS/MND. All subsequent approvals to develop in the Specific Plan area must be consistent with the Specific Plan and associated environmental documents. Additional environmental documentation may be required in the future if significant changes are found to have occurred pursuant to CEQA Guidelines Sections 15162 and 15182.

### 1.10 Specific Plan Contents and Organization

The Esperanza Village Specific Plan establishes the land use designations, intensities, development standards, and design guidelines for the 13.66-acre Specific Plan area. The Specific Plan also addresses circulation and other infrastructure improvements, such as water, wastewater, drainage systems. This Specific Plan is organized into the following chapters:

- **Chapter 1.0 – Introduction.** This chapter explains the purpose and intent of the Specific Plan, identifies the location of the Specific Plan area, provides a historical overview of the Specific Plan area, and provides an overview of the Esperanza Village Specific Plan. This chapter also identifies the Specific Plan’s relationship to the City’s General Plan and Zoning Ordinance, authority and scope, community outreach process, and compliance with CEQA.

- **Chapter 2.0 – Development Plan.** This chapter establishes the overall land use, architectural design, landscaping, and signage concepts and identifies the necessary circulation and infrastructure plans necessary to support development in the Specific Plan area.
- **Chapter 3.0 – Development Standards.** This chapter establishes the land use designations and standards for the Specific Plan area. Upon adoption of the Specific Plan, the land use and development standards within this chapter serve as the legal zoning for the Specific Plan area.
- **Chapter 4.0 – Design Guidelines.** This chapter identifies the overarching architectural and landscape design themes for development in the Specific Plan area.
- **Chapter 5.0 – Implementation and Administration.** This chapter provides the implementation and administration process of the Esperanza Village Specific Plan, including amendment procedures and funding sources that would be used to finance the Specific Plan. The phasing of the Specific Plan is also described in this chapter.
- **Appendix.** The appendix provides an analysis of how the Specific Plan is consistent with the applicable goals and policies of the City’s General Plan.

## 2.0 Development Plan

This chapter summarizes the Land Use Plan, Architectural Design Concept, Landscape Design Concept, and Signage Plan, Circulation Plan, and Infrastructure Plan for the Specific Plan. This chapter also describes the maintenance plan associated with certain development in the Specific Plan area. The Development Plan promotes an overall understanding and rationale for what is envisioned in the Specific Plan area, the quality and character of the uses, and the level of services and infrastructure to be provided. The Development Plan also lays the foundation for the development standards and design guidelines provided in Chapters 3.0 and 4.0, respectively.

### 2.1 Land Use Plan

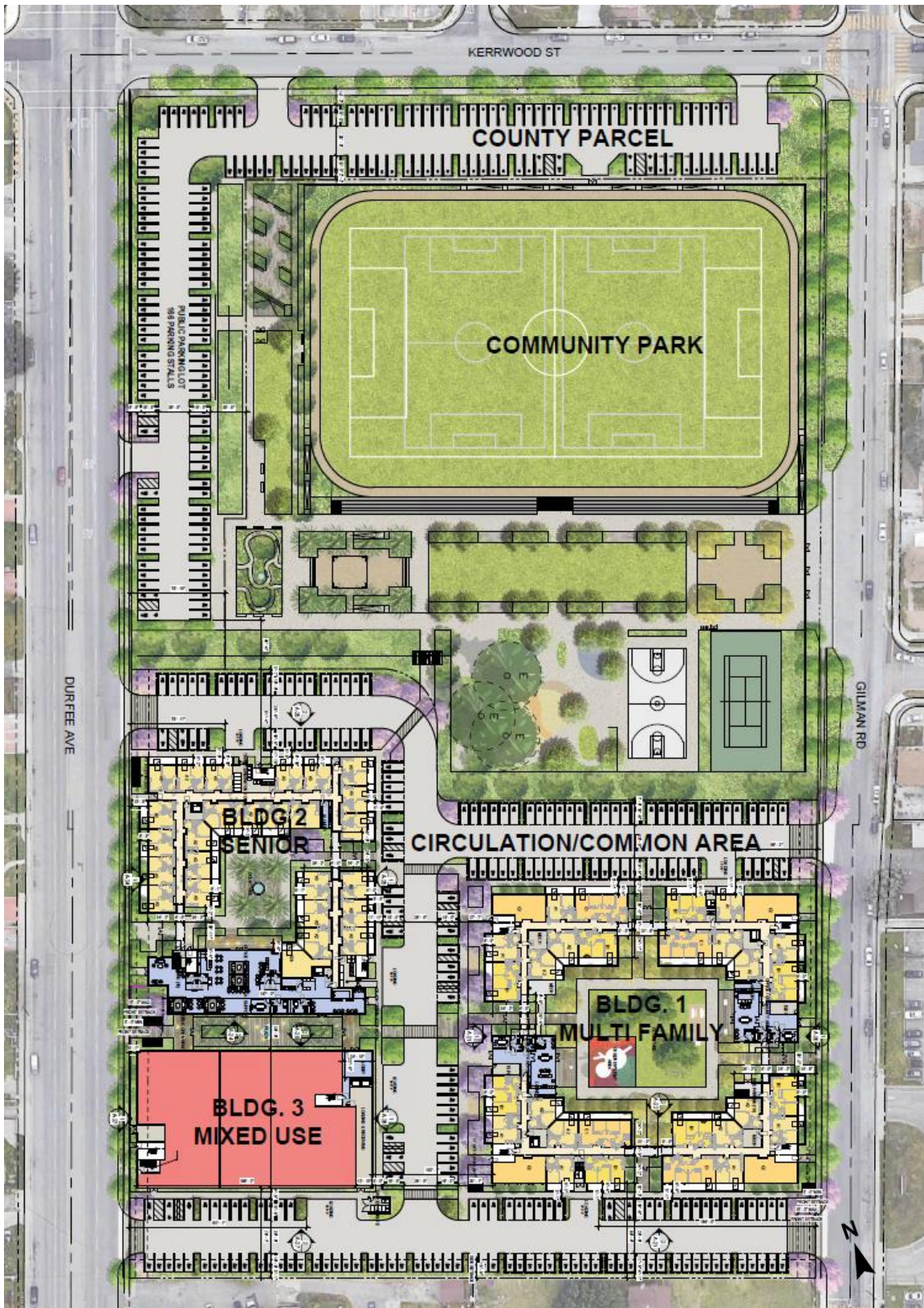
The Specific Plan area currently has two (2) parcels (six lots) that would be consolidated and divided into six (6) new parcels (two (2) residential parcels, one (1) non-residential mixed-use parcel, one (1) circulation/open space parcel, one (1) County parcel, and one (1) community park parcel). For the purposes of this Specific Plan, the six (6) new parcels are referred to as subareas. The Residential Subarea on the eastern portion of the Specific Plan area (facing Gilman Road) would be 1.67 acres, and the Residential Subarea on the western portion of the Specific Plan Area (facing Durfee Avenue) would be 1.06 acres. The Mixed-Use Subarea would be 0.62 acres, the Circulation/Common Area Subarea would be 2.76 acres, the County Subarea would be 1.96 acres, and the Park Subarea would be 5.60 acres.

The Land Use Plan encourages the integration of complementary land uses, amenities, community services, active recreational uses, and common open space areas that are accessible to residents, employees, and visitors of the Specific Plan area. The Land Use Plan provides for the Specific Plan area to be developed with affordable multi-family residential units in the Residential Subareas, County-related and community-serving facilities in the Mixed-Use Subarea, surface parking in the County Subarea, active recreational uses in the Community Park Subarea, and common open space and surface parking in the Circulation/Common Area Subareas. Reciprocal access and reciprocal parking easements will be provided for all subareas. The residential buildings will have a development density of 33 units per acre. A summary of anticipated land uses is shown in **Table 2-1**, and **Figure 2-1** shows the conceptual site plan for the Specific Plan area.

The following describes the types of land uses that would occur in each subarea, as well as their relationship to each other and the surrounding neighborhood.

<b>TABLE 2-1: SPECIFIC PLAN LAND USE SUMMARY</b>	
<b>Residential Subareas</b>	
Total Parcel Area for Residential Development	2.73 acres
Total Building Gross Square Footage	183,506 square feet
Total Building Net Square Footage	137,292 square feet
Total Dwelling Units	202 units
Number of Affordable Dwelling Units for Low- and Extremely Low-income Individuals and Families	102 units
Number of Affordable Dwelling Units for Low- and Extremely Low-income Seniors	100 units
General Building Height	36 feet 2 inches (three stories)
Maximum Building Height	44 feet 2 inches /a/
Short-term Bicycle Parking	20 spaces
Long-term Bicycle Parking	20 spaces
Total Common Open Space /b/	36,579 square feet
Private Open Space (patios)	7,919 square feet
Courtyards	33,887 square feet
Roof Decks	2,692 square feet
<b>Mixed-Use Subarea</b>	
Total Parcel Area for Mixed-Use Development	0.62 acres
Total Building Square Footage	45,899 square feet
General Building Height	37 feet 6 inches
Maximum Building Height	49 feet 6 inches (two stories) /c/
Short-term Bicycle Parking	10 spaces
Long-term Bicycle Parking	11 spaces
<b>Circulation/Common Area Subarea</b>	
Total Parcel Area for Circulation/Common Area	2.76 acres
Common Open Space /d/	3,924 square feet
Public Open Space /e/	2,400 square feet
Driveways and Surface Parking Areas	113,661 square feet
<b>County Subarea /f/</b>	
Total Parcel Area for County-Related Development	1.96 acres
Total Parking Spaces /g/	166 spaces
Public Parking	61 spaces
Residential Parking	26 spaces
Mixed-Use Building Parking	79 spaces
<b>Community Park Subarea</b>	
Community Park /h/	5.60 acres
<p>/a/ Overall building height will generally be 36 feet 2 inches but the main entrance along the public street right-of-way will extend to 42 feet 2 inches, and the enclosed stairway towers will extend to 44 feet 2 inches,.</p> <p>/b/ To be used by residents of the residential buildings (Buildings 1 and 2).</p> <p>/c/ The main entrance on Durfee Avenue and enclosed stairways will extend to 49 feet 6 inches, but overall building height will generally be 37 feet 6 inches.</p> <p>/d/ To be used by residents of Building 2.</p> <p>/e/ To be used by all residents, users and visitors of the residential and mixed-use development.</p> <p>/f/ To be developed by the County of Los Angeles separately from development in the Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas.</p> <p>/g/ Reciprocal access and reciprocal parking easements will be provided for all subareas.</p> <p>/h/ The Community Park will be developed by the County of Los Angeles. It was approved by the County Board of Supervisors on October 19, 2021.</p> <p><b>SOURCE:</b> Prima Development 2024, AC Martin 2024, TAHA 2024</p>	

Figure 2-1: Conceptual Site Plan



### 2.1.1 Residential Subareas

The Residential Subareas are intended to provide affordable residential dwelling units for low-income individuals, families, and seniors. The residential parcels would total 2.73 acres in size. Two (2) buildings totaling 183,506 gross square feet (202 residential units) would be constructed on the residential parcels. The residential structures would be three (3) stories tall with a general height of 36 feet 2 inches, and the enclosed stairway towers will extend the height of the proposed structures up to 44 feet 2 inches. The enclosed stairway towers would generally be setback from the public street right-of-way by at least 15 feet. One (1) of the residential structures (Building 1) would front Gilman Road and would consist of affordable housing for low- and extremely low-income individuals/households, including transitional age youths. The other residential structure (Building 2) would front Durfee Avenue and would consist of affordable housing for low- and extremely low-income seniors. The residential units in Building 1 would include a mix of one-, two-, and three-bedroom units. The residential units in Building 2 would consist of primarily one-bedroom units with one (1) two-bedroom manager unit. The buildings would not have any.

The first level of Buildings 1 and 2 would have community rooms, offices, and laundry rooms. Building 1 would have one (1) 24,469-square-foot courtyard and Building 2 would have one (1) 9,418-square-foot courtyard at the first level. Residents of these buildings would have direct access to these courtyards via doors from the hallways of these buildings. Exterior access to these courtyards would also be available via gates on the north, south, east, and west sides of Building 1 and on the east and west sides of Building 2. The third level of each building would have two (2) roof decks. The roof decks for Building 1 would each be 917 square feet in size. One roof deck would be located at the northeastern corner of the building facing Gilman Road and the surface parking area. The other roof deck would be located at the southwest corner of the building facing the surface parking area. For Building 2, a 458-square-foot roof deck would be located at the northwestern corner of the building facing Durfee Avenue and the surface parking lot. The second roof deck for Building 2 would be 400 square feet in size and would be located at the southeast corner of the building facing the internal driveway for the development and Building 3. Access to the roof decks for Buildings 1 and 2 would be via doors from the hallways.

### 2.1.2 Mixed-Use Subarea

The Mixed-Use Subarea is intended to provide facilities that serve and are beneficial to residents of the Specific Plan area and the residential neighborhood surrounding the Specific Plan area. The Mixed-Use Subarea would be 0.62 acres in size and would be situated at the southwestern portion of the Specific Plan area. The Subarea would front Durfee Avenue and would be developed with one (1) 45,899-square foot non-residential structure (Building 3) that would provide a mix of community-serving and County-related facilities. Building 3 would be up to two (2) stories tall with a general height of 37 feet 6 inches, and the enclosed stairway towers would extend the height of the proposed building up to 49 feet 6 inches tall. The first level will include a lobby, loading and receiving area, an approximately 13,000-square-foot senior care center, and an approximately 7,000-square-foot community medical clinic. The second level would have an approximately 2,550-square-foot job training center and 500-square-foot snack bar. County-related facilities on the second level may include a 1,700 transitional age youth resource center, 8,400-square foot community medical clinic, 2,550-square-foot office for a community-based organization, and 4,800-square-foot family service center. The facilities provided in this Subarea would complement and serve the residential uses in the Specific Plan area and the surrounding residential neighborhood.

### **2.1.3 Circulation/Common Area Subarea**

The Circulation/Common Area Subarea would be 2.76 acres in size and would provide vehicular access from the public street rights-of-way to the Residential and Mixed-Use Subareas. The Circulation/Common Area Subarea would have surface parking areas, loading areas, and common and public open space areas. Surface parking would be located throughout this subarea.

Two loading areas would be provided for each of the Residential and Mixed-Use buildings. Building 1 would have two (2) small loading areas, one (1) would be situated on the north side and one (1) would be situated on the south side of the building. Building 2 would also have two (2) small loading areas, one (1) would be situated on the north side and one (1) would be situated on the east side of the building. Building 3 would have two (2) large loading areas, one (1) would be situated on the east side and one (1) would be situated on the south side of the building.

Vehicular access from the public streets to the Residential and Mixed-Use Subareas would be provided by the Circulation/Common Area Subarea through a reciprocal access easement agreement. Two (2) new driveway entrances would be located on Durfee Avenue, and two (2) new driveways would be provided on Gilman Road. The driveways would provide direct access to the surface parking areas in in the Circulation/Common Area Subarea. To limit circulation conflicts with Twin Lakes Elementary School, which is across the street from the Specific Plan area, the southern driveway entrance on Gilman Road would prohibit vehicles exiting the Specific Plan area from turning left onto Gilman Road.

The Circulation/Common Area Subarea would have 216 parking spaces, of which 115 spaces would be allocated to the residential buildings (Buildings 1 and 2) and the remaining 61 spaces would be allocated to the non-residential mixed-use building (Building 3). Photovoltaic (PV) solar carports would be provided for residential parking spaces in this Subarea.

An approximately 3,924-square-foot common open space area and 2,400-square-foot public open space area would be situated at the ground level between Buildings 2 and 3.. The public open space area would be accessible to all users and visitors of the Specific Plan area.

### **2.1.4 County Subarea**

The County Subarea would provide surface parking for the public and the Residential and Mixed-Use Subareas. The County Subarea would be 1.96 acres in size and would have a surface parking lot with a total of 166 parking spaces, of which 61 spaces would be allocated to the Community Park and the public, 26 spaces would be allocated to the residential uses in the Residential Subareas, and 79 spaces would be allocated to the uses in the Mixed-Use Subarea. The surface parking lot would also have a pick-up/drop-off area for users of the park. Two (2) driveway entrances would be located on Kerrwood Street and one (1) driveway entrance would be located on Durfee Avenue. On Kerrwood Street, one (1) driveway would be situated towards the east end of the Subarea (near Gilman Road) and the other driveway would be situated towards the west end of the Subarea (near Durfee Avenue).

The County Subarea would be developed by the County of Los Angeles and would occur separately from the development on the Residential, Mixed-Use, and Circulation/Common Area Subareas.

### **2.1.5 Community Park Subarea**

The Community Park, which was approved by the County Board of Supervisors on October 19, 2021, will be located on the 5.60-acre Community Park Subarea. Recreational features and amenities that will be provided at the Community Park include a soccer field, tennis courts,

basketball courts, barbeque area, flex event lawn, walking promenade, fitness areas, restrooms, walking and jogging paths, raised pavilion/gazebo, native botanical garden, children's play mound, and children's discovery garden. The Community Park is being developed by the County of Los Angeles and will occur separately from the development on the Residential, Non-Residential Mixed-Use, Circulation/Common Area, and County-Related Subareas. The park will be maintained and operated by the City.

## 2.2 Architectural Design Concept

The architectural style for overall development in the Residential, Mixed-Use, and Circulation/Common Area Subareas is Spanish Modern. The building materials and finishes would strengthen this architectural style with a traditional use of smooth plaster finish in off-white, cream and beige in combination with traditional terra cotta brick and barrel roof tile. A mix of pitched, gabled, hip, and flat roof forms will be provided with overhangs that features exposed rafter tails. The façades would be ornamented with dark wood millwork details, such as trims, beams, and open trellis. Exterior pedestrian railings, fences, and gates would be adorned with black metal railings. The combination of materials and finishes are intended to compliment and lend permanence to the building and landscape design.

Several techniques would be implemented to allow the structures in the Specific Plan area to transition from the one- and two-story buildings in the surrounding neighborhood to the two- and three-story buildings in the Specific Plan area. The massing of the structures in the Residential Subareas would be broken up into two separate structures that are connected by pedestrian bridges on the second and third levels. The residential structures would modulate in height, scale, and proportion. The residential buildings would provide recessed volumes in the form of courtyards to provide architectural interest and to reduce the scale of the buildings. Roof decks would be located on Durfee Avenue and Gilman Road, which would allow the third floor of the residential buildings to step back further from the surrounding residential structures. The non-residential structure on the Mixed-Use Subarea would be at a similar scale and massing as the residential structures. The surface parking areas in the Circulation/Common Area Subarea and County Subarea and roof decks on the residential structures would allow the structures in the Specific Plan area to transition to a taller height.

The walls of the buildings in the Specific Plan area would be articulated to break up large expanses of uninterrupted building surfaces. Additionally, the roof decks are designed and oriented to maintain privacy of the surrounding residential properties. The surface parking areas are softened through landscaping.

## 2.3 Landscape Design Concept

### 2.3.1 Overall Landscape Design

The landscape design for the Specific Plan area would incorporate the use of low-maintenance, diverse, and drought-tolerant vegetation that would complement the architectural style of development in the Specific Plan area and create year-round interest. The goal of landscaping is to connect, activate, and rejuvenate the Specific Plan area.

- Connect
  - Establish a landscape aesthetic that complements the architectural style and celebrates the City's heritage.
  - Connect to the City's views with roof deck seating and opportunities for lounging and dining.

- Activate
  - Create a variety of dynamic spaces for active and passive community activities.
  - Provide highly visible courtyards for children, the elderly, and families.
- Rejuvenate
  - Enhance community spaces with drought tolerant layered gardens.
  - Provide quiet seating opportunities.

At least 75 percent of the landscaping would consist of drought-tolerant plants. Landscaping would be provided along parkways, street setback areas, in the common and public open space areas, roof decks, around the buildings, in the surface parking areas, and throughout the Community Park. Artificial turfs would be provided in the common open space areas and in the Community Park. Landscaping will be required to comply with the Model Water Efficiency Landscape Ordinance.

The subareas in which the residential and mixed-use development would be located have 52 trees that are in good, fair, stressed/leaning, and poor conditions, of which 45 are Protected Trees. To comply with the City's tree replacement policy, 90 36-inch box trees would need to be planted. The development would provide a total of 224 trees, of which 142 trees would be 36-inch box trees in size. The 224 trees would be planted on the subject property, along the parkway adjacent to the subject property, and on the adjacent community park. An in lieu fee may be paid into the City's tree mitigation and planting fund for any Protected Trees that cannot be planted in the development site or adjacent public rights-of-way.

**Figure 2-2** presents a conceptual landscape plan for the Specific Plan area. The conceptual landscape plan is an example of what could be developed.

### 2.3.2 Ground Level Landscaping

#### Streetscape

Landscaped parkways with trees planted at regular intervals would be installed along Gilman Road, Durfee Avenue, and Kerrwood Street. The street yard setbacks would be landscaped with groundcovers, shrubs, and trees.

#### Open Space Areas

The common open space area between Buildings 2 and 3 would have planting areas, lounge furniture, a water feature, and overhead string lights.

#### Community Park

A flex lawn with artificial turf, native botanical garden, and various ornamental trees and shrubs would be provided at the park.

#### Courtyards

The perimeter for each courtyard at the residential structures would be landscaped with groundcovers, shrubs, and trees. The landscaping would create a buffer between the courtyards and residential units. The courtyard for Building 1 would have an artificial flex lawn and a children's play area. Hardscape features would include decorative pavers and concrete, seating with overhead string lights, patio with lounge furniture, a communal dining area with built-in counter and electrical barbecue, fire pits. The courtyard for Building 2 would have lounge seating, with decomposed granite, community garden beds, a water feature, decorative pavers and concrete, dining tables with shade umbrellas and overhead string lights.

Figure 2-2: Conceptual Landscape Plan



## **Other Landscape Areas**

Landscaping would be provided along the building perimeters to create a buffer between the buildings and common open space areas, driveways, surface parking areas, and pedestrian pathways. Landscaping will include groundcovers, shrubs, and trees. Landscaping for the County parcel is conceptual and subject to change but is expected to be consistent with the landscape design concept of this Specific Plan.

### **2.3.3 Third Level Landscaping**

#### **Roof Decks in the Residential Subareas**

The roof decks for the residential buildings will include planters with shade trees, and citrus trees in pots. The roof decks will also include amenities for communal gatherings, such as barbecue areas, lounge furniture, and/or tables and chairs for dining. Pavers would be provided in areas with no landscaping.

## **2.4 Signage Plan**

Signage for the Esperanza Village Specific Plan area would be cohesive and use high-quality colors, materials, finishes, and illumination that complement each other and are consistent with the overall design concept for the Specific Plan area. Signs proposed within the Residential, Mixed-Use, and Circulation/Common Area Subareas would be governed by a master sign program that will provide consistency in design, style, and direction for the placement and size of signs. Proposed signage includes monument signs, wall signs, and blade signs. Signage in the County and Community Park Subareas would be developed separately but would be designed to complement the signage for the Residential, Mixed-Use, and Circulation/Common Area Subareas.

### **Monument Signs**

Monument signs are affixed to the ground. Overall, monument signs would be designed to match the architectural style of the buildings within the Specific Plan Area. The monument signs for the residential and mixed-use development would be located at the driveway entrances along Durfee Avenue and the northern driveway entrance on Gilman Road. The sign background for the residential and mixed-use development would have smooth plaster finish, bronze lettering with back lighting, brick caps, and cement tiles that line the top of the sign background.

### **Wall Signs**

Wall signs would be mounted to the building façades and will be used to identify the buildings and building numbers. The signs will have bronze lettering. The wall signs above the building entrances will be internally illuminated.

### **Blade Signs**

Blade signs would protrude from the building façade and will be used to identify the buildings in the Specific Plan area. Powdercoat metal with graphics and lettering consistent with the architectural style of the development will be used on the blade signs. The graphics on the blade signs would be consistent with the design and graphics that would be used on the other types of signs in the Specific Plan area.

## 2.5 Circulation Plan

### 2.5.1 Conceptual Access Plan

The conceptual access plan establishes a conceptual layout for the driveways serving the Esperanza Village Specific Plan area. Direct access to the Specific Plan area would be available from two (2) new driveways on Gilman Road, two (2) new driveways on Kerrwood Street, and three (3) new driveways on Durfee Avenue. The two (2) driveways on Gilman Road and the center and southern driveways Durfee Avenue would provide vehicular access and circulation to the Residential and Mixed-Use Subareas. The two (2) driveways on Kerrwood Street and the northernmost driveway on Durfee Avenue would provide vehicular access to the County Subarea. Although the two (2) driveways on Kerrwood Street would be located in the County Subarea, these driveways would also provide vehicular access to the Community Park. Reciprocal access and reciprocal parking easements would be provided for all parcels. **Figure 2-3** presents the conceptual access plan for the Specific Plan area.

#### Residential, Mixed-Use, and Circulation/Common Area Subareas

The Circulation/Common Area Subarea would provide private driveways and surface parking areas that are accessible to the Residential and Mixed-Use Subareas. The driveway on Gilman Road and Durfee Avenue would provide direct access to the surface parking areas and the residential and mixed-use buildings. To limit circulation conflicts with Twin Lakes Elementary School, which is across the street from the Specific Plan area, the southern driveway entrance on Gilman Road would prohibit vehicles exiting the Specific Plan area from turning left onto Gilman Road. **Figure 2-4** presents the vehicular circulation plan for the Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas.

#### County Subarea

Vehicular access to the County Subarea would be provided along Kerrwood Street and Durfee Avenue. Two (2) driveways will be located on Kerrwood Street (one (1) towards the east end of the parcel and one (1) towards the west end of the parcel) and one (1) driveway will be provided on Durfee Avenue. These driveways would provide vehicular access to the surface parking lot in this Subarea.

Vehicular circulation for the County Subarea would be separate from the Residential, Non-Residential, Mixed-Use, and Circulation/Common Area Subareas.

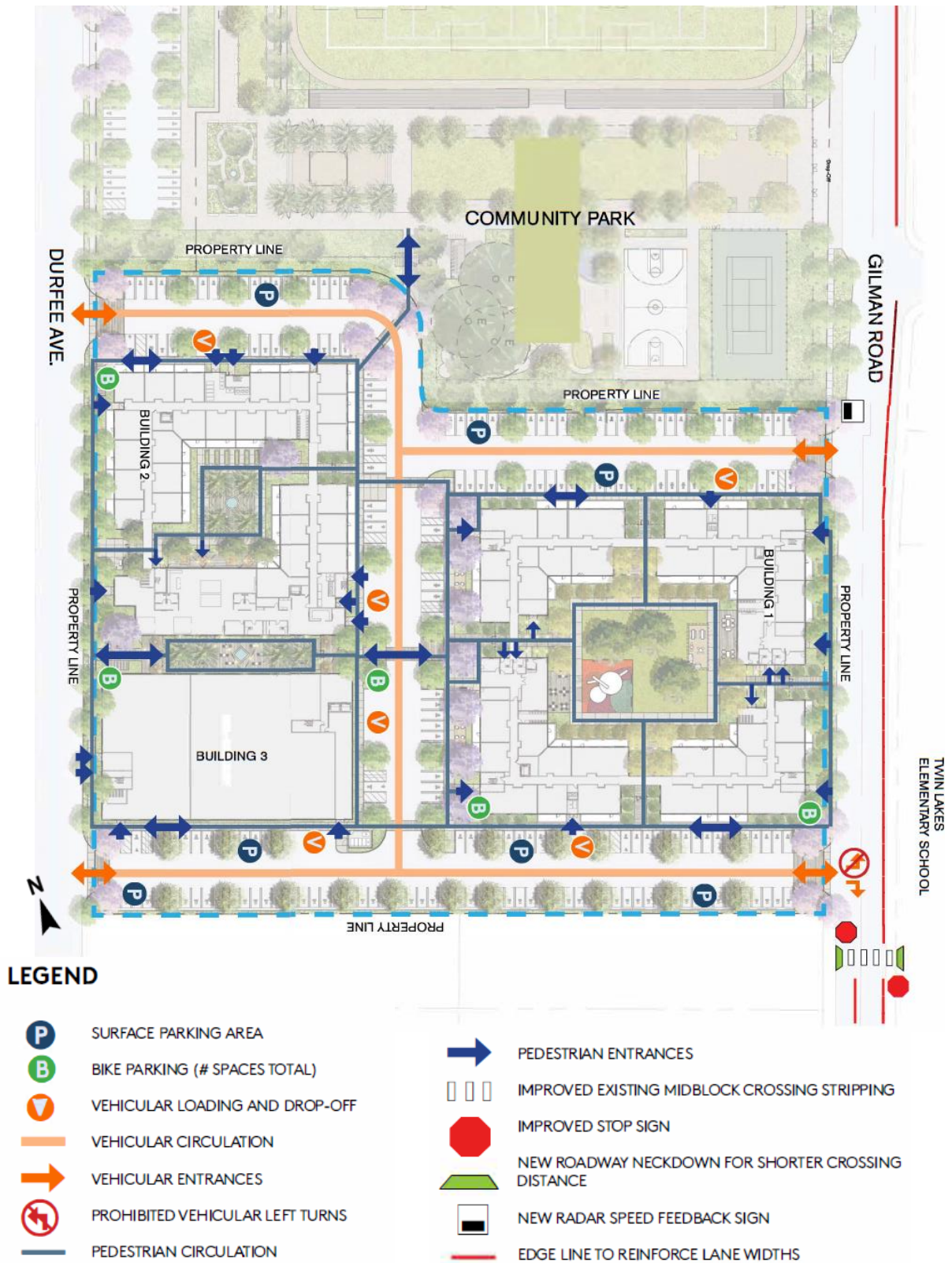
#### Community Park Subarea

The Community Park Subarea would not have any driveways but vehicular access to the Community Park Subarea would be available via the driveways in the County Subareas. The surface parking lot in the County Subarea would be shared between the Community Park and future development in the County-Related Subarea.

Figure 2-3: Conceptual Access Plan



**Figure 2-4: Circulation Plan for Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas**



### 2.5.2 Parking Facilities

Surface parking would be provided in two (2) subareas: the County Subarea and Circulation/Common Area Subarea.

The surface parking areas in the Circulation/Common Area Subarea would provide surface parking for development in the Residential and Mixed-Use Subareas. Each building would have two loading areas. The residential buildings would each have two small loading spaces and the mixed-use building would have two large loading spaces.

The surface parking lot at the County-Related Subarea would provide parking for the public (including Community Park users), as well as for the Residential and Mixed-Use Subareas, County Subarea, and Community Park Subarea. This parking lot would also have a pick-up/drop-off area for users of the Community Park.

The number of parking spaces that would be provided on each parcel are identified in **Table 2-2**.

<b>TABLE 2-2: PARKING SUMMARY /a/</b>	
<b>Type of Parking</b>	<b>Parking Spaces</b>
<b>Residential, Mixed-Use, &amp; Community Park Subareas</b>	
Surface Parking /b/	0
<b>Circulation/Common Area Subarea</b>	
Total Surface Parking	216
Building 1	103
Building 2	52
Building 3	61
Community Park	0
<b>County Subarea</b>	
Total Surface Parking	166
Building 1	13
Building 2	13
Building 3	79
Public Parking (includes Community Park)	61
/a/ Reciprocal access and reciprocal parking easements would be provided for all parcels in the Specific Plan area.	
/b/ Surface parking for the Residential and Mixed-Use Subareas would be provided in the Circulation/Common Area Subarea and County Subarea. Parking for the Community Park would be provided in the County Subarea.	

### 2.5.3 Transit Network

The Esperanza Village Specific Plan area is served by the City of El Monte Transportation Services Division and Foothill Transit. These transit providers provide transit services within 0.25 mile of the Specific Plan area.

The City’s Transportation Services Division operates the City’s in-town fixed-route transit system (Trolley) and Dial-A-Ride services. The City’s Trolley system has five (5) routes, all of which have buses that leave from the El Monte Trolley Station at 3679 Center Avenue. The Blue Route serves the Specific Plan area, with the closest stop located at the corner of Durfee Avenue/Kerrwood Street, approximately 135 feet northwest of the Specific Plan area. The Blue Route connects the Specific Plan area to other local trolley routes and the regional transit system.

The Blue Route provides access to the El Monte Trolley Station at 3679 Center Avenue. From the El Monte Transit Station, passengers can connect with other El Monte Trolley lines (Red, Green, Orange, and Yellow Routes) and the Metrolink San Bernardino Line. The Metrolink San Bernardino Line stops at the El Monte Metrolink Station, which is across the street from the El Monte Trolley Station at 10925 Railroad Street. The El Monte Trolley Station and El Monte Metrolink Station are approximately 1.6 miles west of the Esperanza Village Specific Plan area.

From the Specific Plan area, the Blue Route also connects to Foothill Transit Bus Lines 190 and 488 along Ramona Boulevard, both of which also connect to the El Monte Metrolink Station. The nearest bus stop for Foothill Transit Bus Lines 190 and 488 is approximately 800 feet northwest of the project site.

The City's Dial-A-Ride service provides transportation for seniors (55 years and older) and disabled residents (any age) in the City. It operates within the City limits and provides rides to medical or governmental appointments within five miles of the City. For rides within the City limits, the service is available Mondays through Fridays from 7:00 a.m. to 6:00 p.m. and Saturdays and Sundays from 8:00 a.m. to 4:00 p.m. For out-of-town services (medical or government appointments), the service is available Mondays through Fridays from 8:00 a.m. to 5:00 p.m. Out-of-town services require 24-hour reservations.

#### **2.5.4 Pedestrian Network**

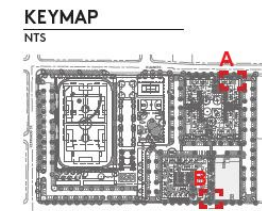
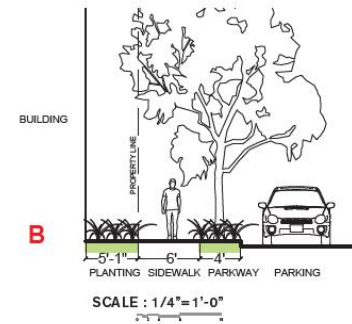
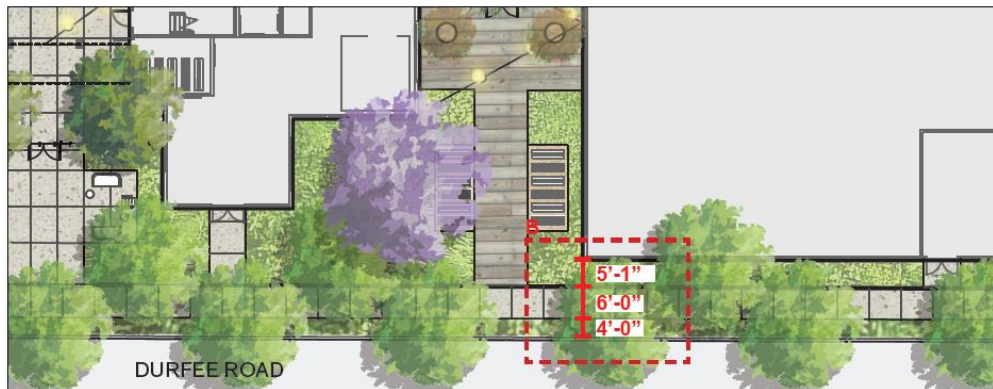
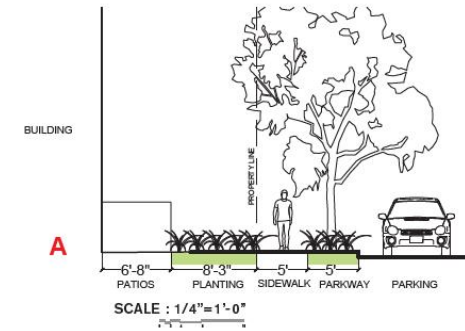
Existing sidewalks are located on Durfee Avenue, Kerrwood Street and Gilman Road. These sidewalks currently do not have any parkways. With implementation of the Esperanza Village Specific Plan, the sidewalk along Gilman Road fronting Building 1 would be enhanced with a continuous five (5)-foot wide landscaped parkway and a five (5)-foot wide sidewalk. Durfee Avenue fronting Building 2 would be enhanced with a continuous four (4)-foot wide landscaped parkway and a six (6)-foot wide sidewalk (**Figure 2-5**). An approximately eighteen (18)-foot ten (10)-inch wide parkway and a five (5)-foot wide sidewalk would be placed along Gilman Road adjacent to the proposed soccer field at the Community Park Subarea. A ten (10)-foot wide parkway and a six (6)-foot wide sidewalk would be placed along Kerrwood Street (**Figure 2-5**).

Pedestrian access to the Residential, Mixed-Use, and Circulation/Common Area Subareas would be provided along Durfee Avenue, Gilman Road, in the ground-level common and public open space areas, and around the residential and mixed-use buildings. **Figure 2-4** presents the pedestrian circulation plan for the Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas.

Pedestrian access to the County-Related Subarea would be provided along Kerrwood Street and Durfee Avenue.

For the Community Park Subarea, pedestrian access would be provided via sidewalks along Gilman Road, Durfee Avenue, and Kerrwood Street. A pedestrian gate would be installed near the southwestern portion of the Community Park Subarea (where the Circulation/Common Area Subarea's east/west driveway intersects with the north/south driveway) to provide residents in the Residential Subareas direct access to the Community Park.

Figure 2-5: Sidewalk Enhancements – Gilman Road and Durfee Avenue



**Figure 2-6: Sidewalk Enhancements – Gilman Road and Kerrwood Street**



### 2.5.5 Bicycle Network

Existing Class II bicycle lanes are located along both sides of Durfee Avenue adjacent to the Specific Plan area. The Class II bicycle lanes connect to existing Class III bicycle lanes on both sides of Ramona Boulevard, which provides access to the San Gabriel River Trail (**Figure 2-7**).

## 2.6 Infrastructure Plan

Development under the Esperanza Village Specific Plan will be supported by existing and proposed infrastructure improvements. This section presents the conceptual grading plan and defines the major components of water, wastewater, stormwater drainage, solid waste disposal, and other essential facilities planned within the Specific Plan area. Identified infrastructure systems will ensure that the Specific Plan area supports anticipated development with essential utilities and services as efficiently as possible. The Infrastructure Plan identifies improvements necessary to adequately serve the estimated build-out of the Specific Plan. All facilities will be developed to the standards of the service provider and as required by applicable government standards at the time of development.

### 2.6.1 Conceptual Grading Plan

The Specific Plan area is currently covered with concrete, asphalt, buildings, and landscaped areas. The grading concept for the Esperanza Village Specific Plan area will be consistent with the current topography. The Specific Plan area is relatively flat and gently slopes down in a southerly and southeasterly direction. The elevation changes by approximately eight (8'-0") feet throughout the Specific Plan area.

The Specific Plan area would be graded to slope gradually downward towards the east. Elevation for the Residential, Mixed-Use, and Circulation/Common Area Subareas would change by approximately eight (8) feet. The conceptual grading plan for the Residential, Mixed-Use, and Circulation/Common Area Subareas is shown in **Figure 2-8**.

The conceptual grading plan for the County and Community Park Subareas would be developed by the County of Los Angeles and would be required to comply with County requirements at the time of development. Grading in the County-Related and Community Park Subareas would generally be consistent with the current topography.



### 2.6.2 Conceptual Water System

Water supply for the Specific Plan area is provided by the San Gabriel Valley Water Company. The San Gabriel Valley Water Company has a service area of approximately 45 square miles and derives its groundwater supplies from groundwater wells that produce water from two (2) groundwater basins, the Main San Gabriel Basin and the Central Basin, with the Main San Gabriel Basin as the Water Company's primary groundwater source. The Water Company's water supply sources also include recycled water and a connection with the Metropolitan Water District of Southern California for delivery of treated imported water.

Existing potable water infrastructure serving the Specific Plan area include six (6)-inch water main in Gilman Road, eight (8)-inch water main in Kerrwood Street, and a 12-inch water main in Durfee Avenue. The water mains in Gilman Road and Durfee Avenue run north-south along the street, and the water main in Kerrwood Street run east-west along the street. Irrigation lines serving the Specific Plan area would connect to the mains in these streets.

**Figure 2-7: Bicycle Network**

**LEGEND**

-  EXISTING STREET VIEWS
-  EXISTING BUS STOPS
-  EXISTING BIKE LANES
-  PROPOSED ENHANCEMENT OF EXISTING BIKE LANES ON EITHER SIDE OF DURFEE AVE. AND RAMONA BLVD.

San Gabriel River Trail



Kerwood St and Durfee Ave - July 2022



Kerwood St and Durfee Ave - Dec 2020



NOTE:

The Google Street Views above show recently implemented changes along Durfee Ave that include the addition of bike lanes along both sides of Durfee Ave.

**TOTAL BIKE LANE ENHANCEMENTS = 1.00 MILE**

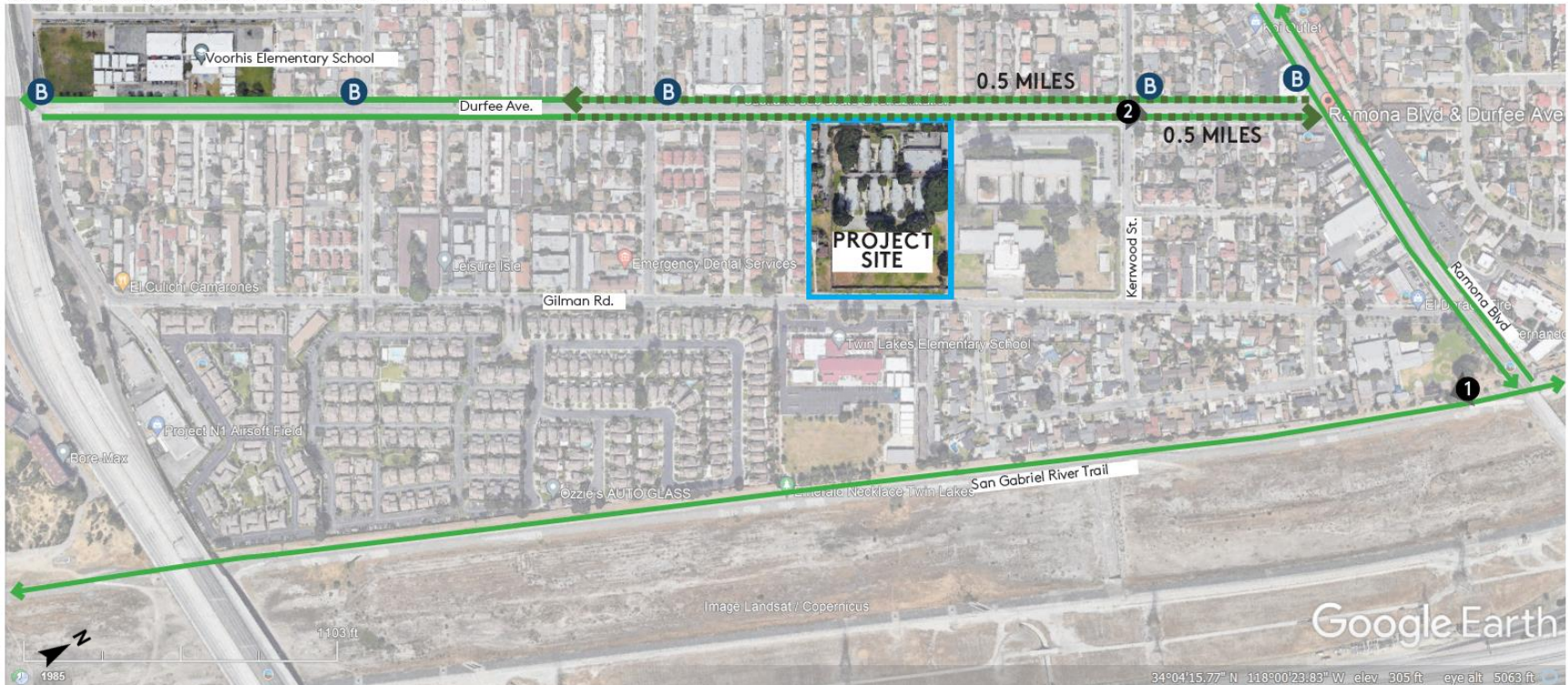
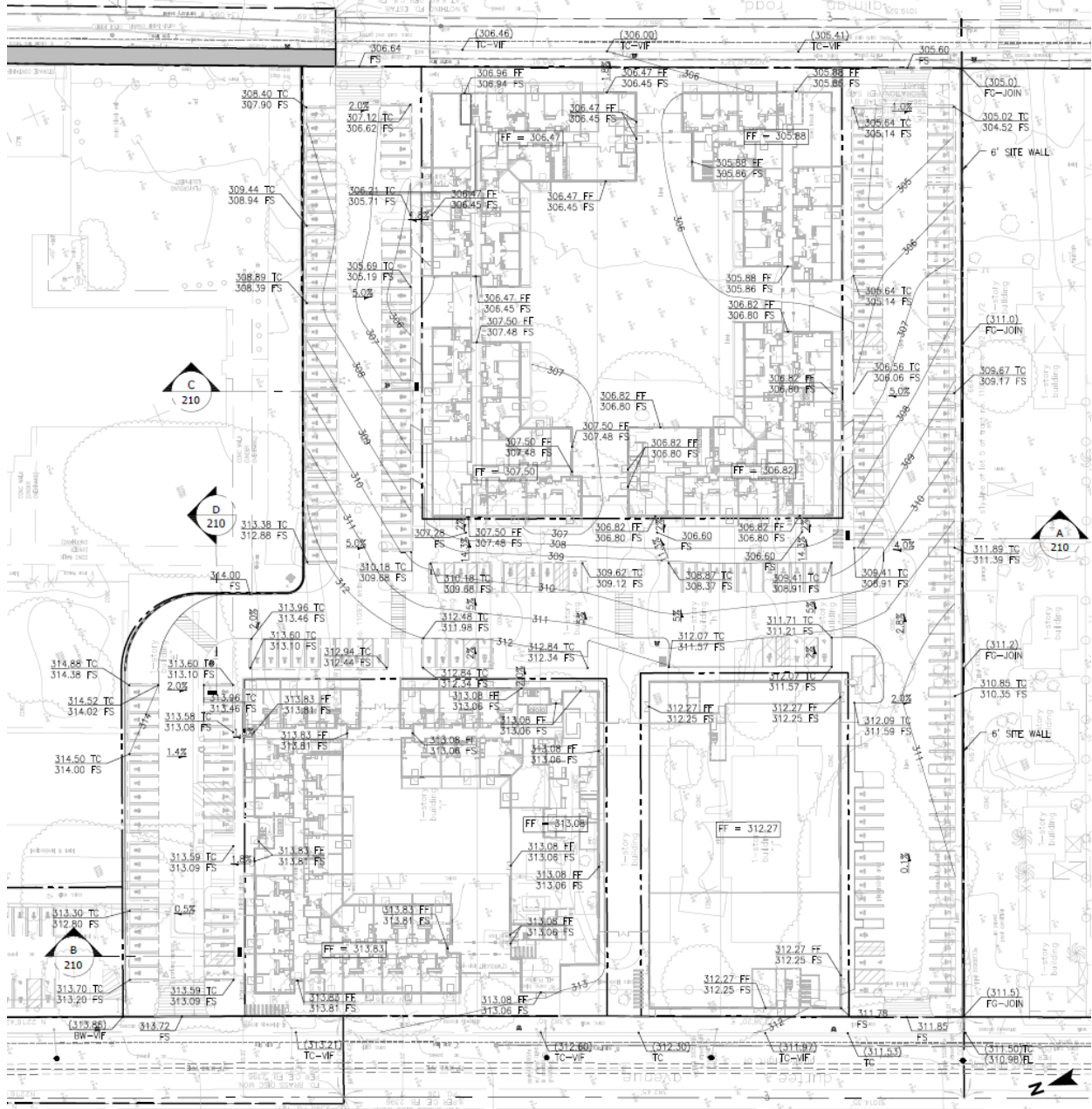


Figure 2-8: Conceptual Grading Plan



The on-site water system would include six-inch water lines that provide domestic water and four- and six-inch water lines that provide fire services to the Specific Plan area. The on-site water lines for the Residential and Mixed-Use Subareas would be located in the private driveways of the Circulation/Common Area Subarea and would connect with the existing six-inch municipal water main in Gilman Road and the 12-inch water main in Durfee Avenue. The irrigation system would connect to the water system in Durfee Avenue. The water line in the east side of Durfee Avenue would be improved as part of the development for the Residential, Mixed-Use, and Circulation/Common Area Subareas.

The water system would be constructed to the specification of the San Gabriel Valley Water Company. The conceptual water plan for the Residential, Mixed-Use, and Circulation/Common Area Subareas is shown in **Figure 2-9**. The size and configuration of the water lines for development in the Community Park and County Subareas would be determined during final engineering.

Development within the Specific Plan area is estimated to increase water demand by approximately 54,375 gallons per day, or 60.9 acre-feet per year. Based on the availability of future water supply from the San Gabriel Valley Water Company's 2020 Urban Water Management Plan, the Water Company will be able to accommodate the projected water demand in the Specific Plan area, which represents 0.1 percent of the Water District's water supply for a normal year, single dry year, and multiple dry years. Additionally, the projected population increase of approximately 782 persons due to development within the Specific Plan area would be about four percent (4%) of the Water Company's projected service area population increase. Development within the Specific Plan area would be required to obtain a will-serve letter from the San Gabriel Valley Water Company to ensure that sufficient water resources are available to supply water to the development. Sufficient water supplies would be available to serve the proposed project. However, the City's Public Works Department has identified that the water line in Durfee Avenue would require improvements to distribute the water to the Specific Plan area. This water line would be improved as part of the residential and mixed-use development proposed in the Specific Plan area. The water system would be constructed to the specification of the San Gabriel Valley Water Company and City's Public Works Department. Domestic water and fire system water would be a joint use, from the same water main.

### 2.6.3 Conceptual Wastewater System

Wastewater generated from the Specific Plan area would be collected by eight (8)-inch sewer pipelines under Durfee Avenue, Kerrwood Street, and Gilman Road. From there, the wastewater flows to Ferris Road. The sewer lines are maintained by the City's Public Works Department. Wastewater collected by the City is then directed to the Sanitation Districts of Los Angeles County (LACSD) trunk sewer pipelines where wastewater is conveyed to the LACSD Whittier Narrows Water Reclamation Plant (WRP) or the Los Coyotes Water Reclamation Plant.

The on-site sewer lines from the residential and mixed-use development would be located in the private driveways and will connect with the existing eight-inch sewer line in Durfee Avenue. The conceptual wastewater plan for the Residential, Mixed-Use, and Circulation/Common Area Subareas is shown in **Figure 2-10**. The size of the sewer lines would be determined during final engineering. The size and location of the sewer lines for the Community Park and County Subareas will be determined during final engineering. The sewer system will be constructed to the specifications of the City's Department of Public Works. In addition to the on-site sewer lines, the sewer line in Ferris Road between Durfee Avenue and Gilman Road will be improved to serve the development proposed in the Specific Plan area.

Figure 2-9: Conceptual Water Plan

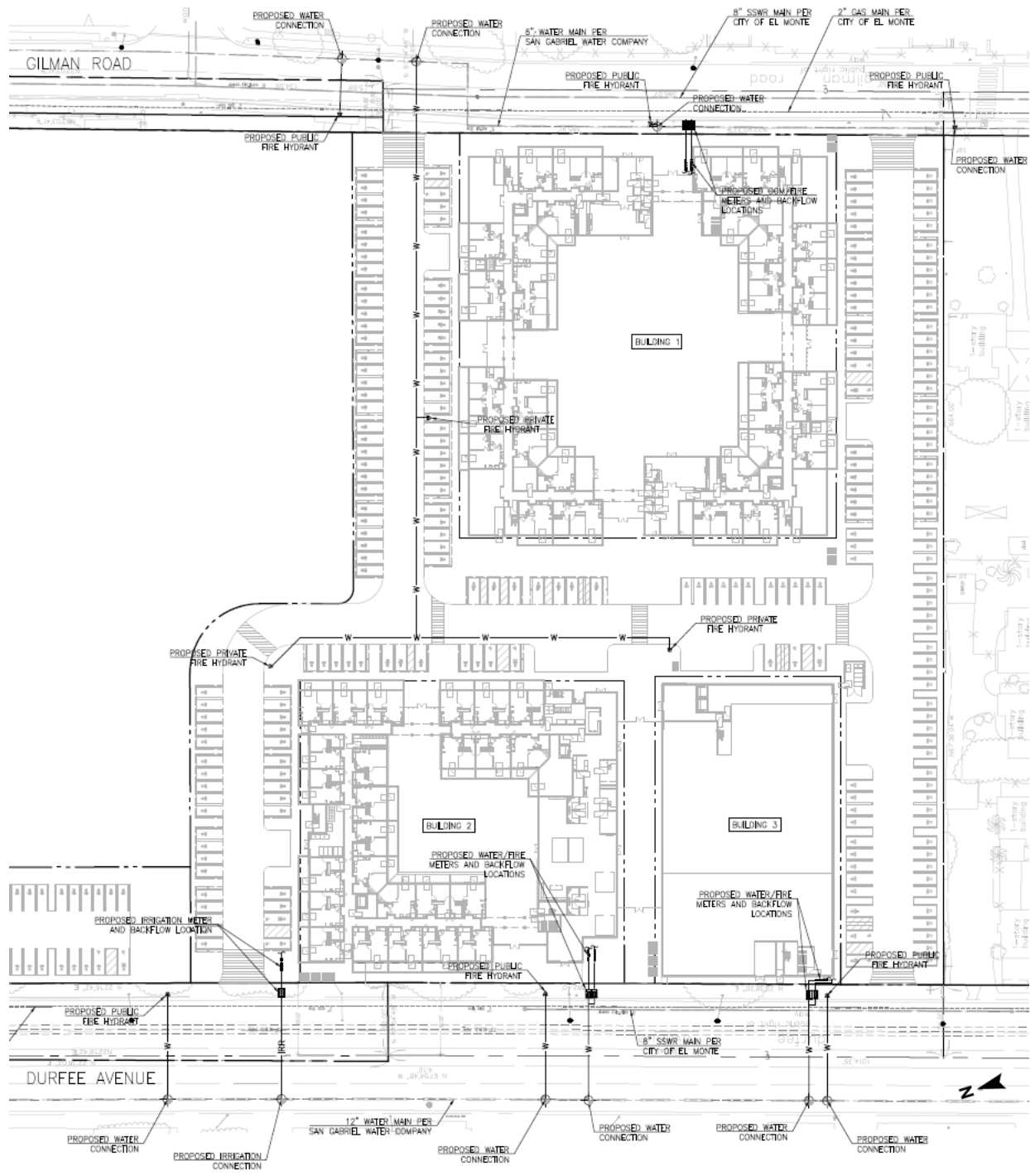
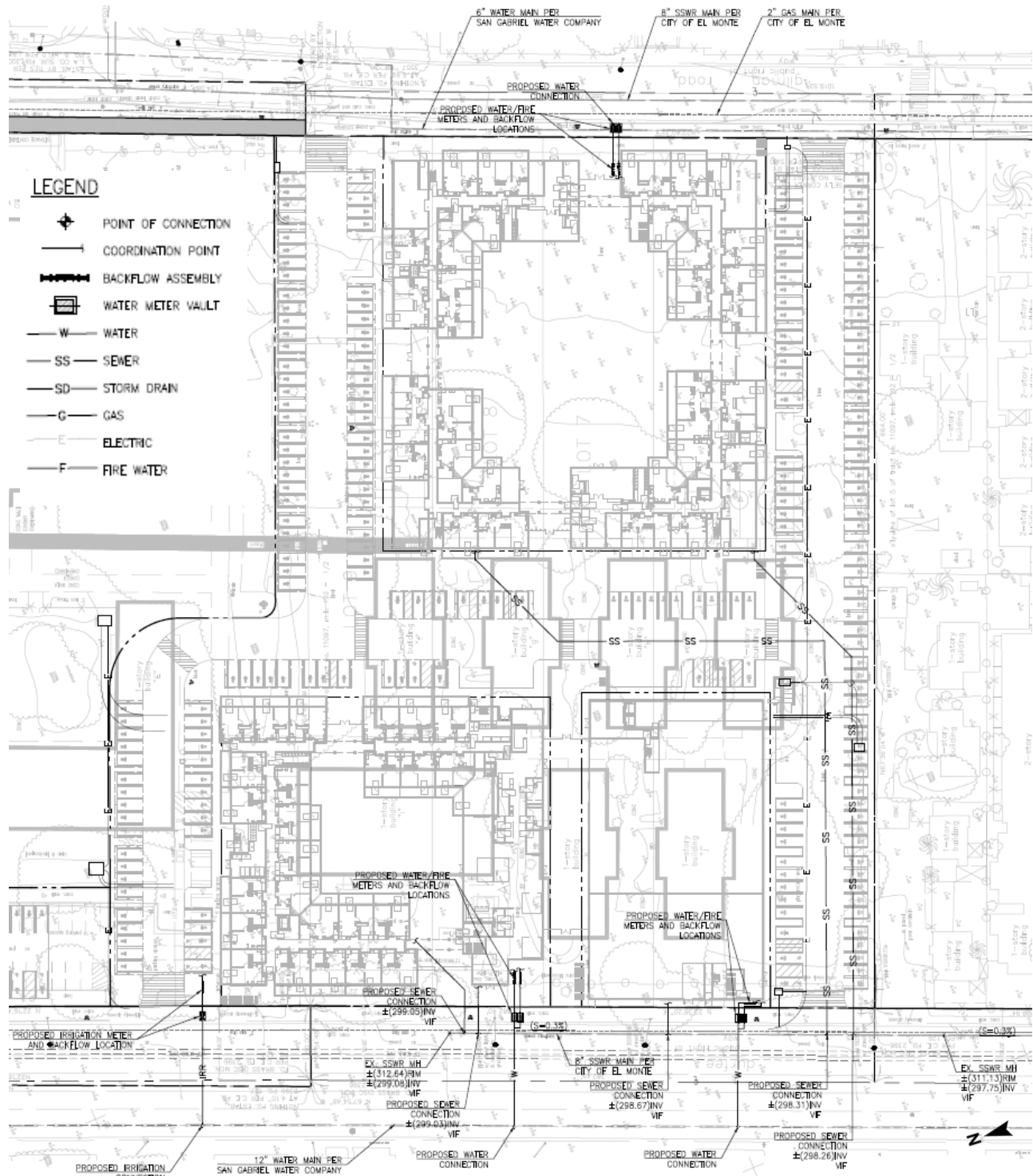


Figure 2-10: Conceptual Wastewater Plan



Whittier Narrows WRP treats approximately 8.3 million gallons per day (mgd) of wastewater and has the capacity to treat 15 mgd of wastewater, which leaves an available capacity of 6.7 mgd. Development in the Specific Plan area is estimated to generate approximately 54,375 gallons per day of wastewater, which is approximately 0.8 percent of the available capacity at Whittier Narrows WRP. The Los Coyotes WRP treats approximately 17.5 mgd of wastewater and has the capacity to treat 37.5 mgd of wastewater, which leaves an available capacity of 20.0 mgd. Wastewater generated by development in the Specific Plan area is estimated to generate approximately 0.3 percent of the available capacity at the Los Coyotes WRP. The additional wastewater generated by development in the Specific Plan can be adequately treated at Whittier Narrows and Los Coyotes WRPs.

#### **2.6.4 Conceptual Drainage Plan**

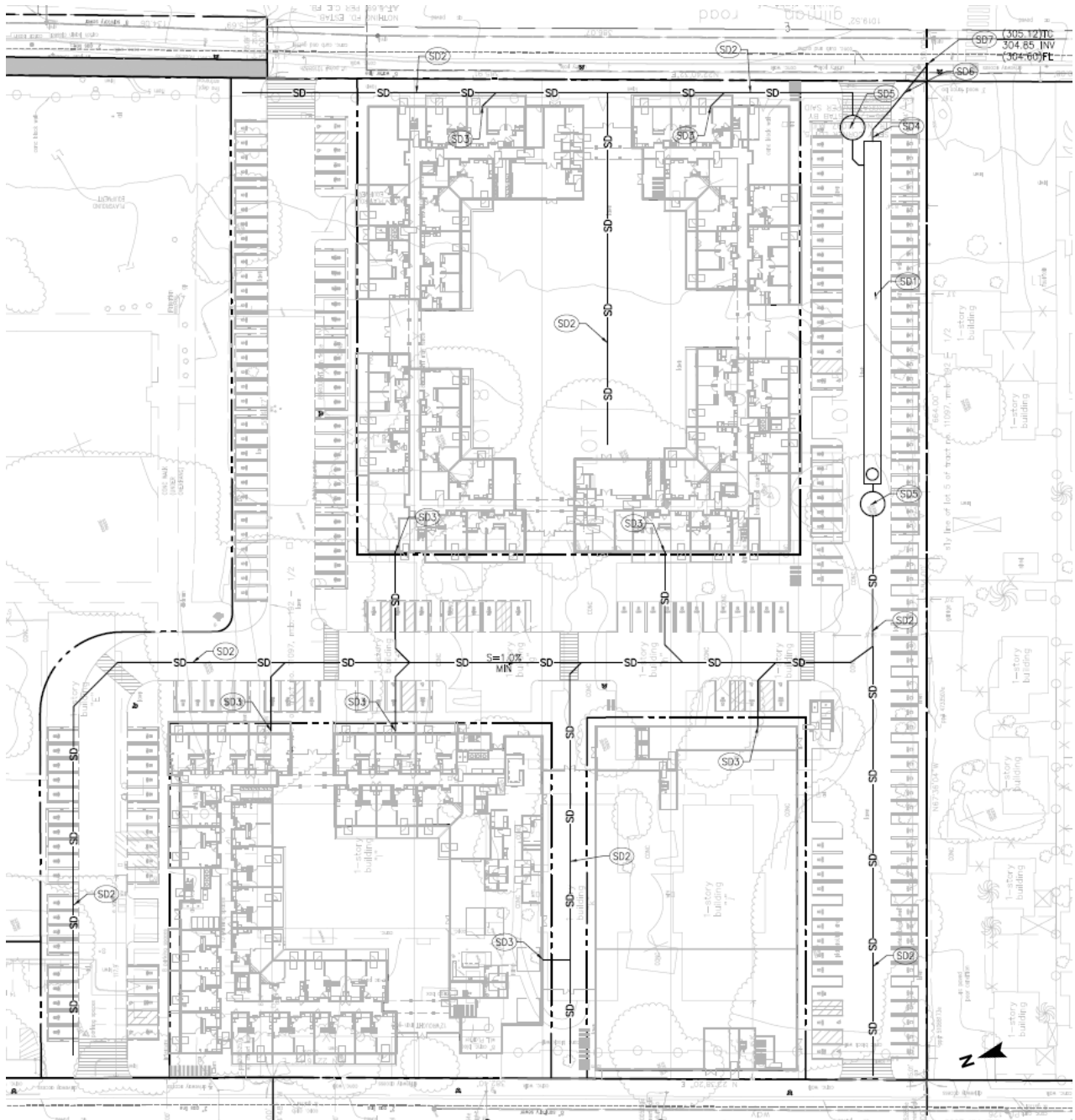
Storm drains are maintained by the City of El Monte. Existing stormwater runoff in the Specific Plan area generally flows south and southeast and is collected by existing catch basins on Gilman Road and Kerrwood Street. A private storm drain system would be located in the Circulation/Common Area Subarea and would convey stormwater runoff from the Residential, Mixed-Use, and Circulation/Common area Subareas to an infiltration system at the surface parking lot on the south side of the Circulation/Common Area Subarea. The infiltration system would include a 225-foot-long perforated pipe surrounded by gravel. Stormwater at the Residential and Mixed-Use Subareas would be collected in roof drains, planter drains, and area drains and conveyed to the infiltration system via PVC storm drain piping (**Figure 2-11**). The infiltration system would comply with the City of El Monte's Low Impact Ordinance to reduce runoff. Permeable paving would be installed at the private driveway intersections. The permeable pavers would allow stormwater to infiltrate into the ground.

The storm drainage system for the Community Park and County Subareas would also be constructed to control stormwater runoff. The stormwater drainage system would be constructed to the specifications of the City of El Monte Public Works Department. All new development projects in the Specific Plan area are required to integrate Low Impact Development design principles to mimic pre-development hydrology through infiltration, evapotranspiration and rainfall harvest and use.

#### **2.6.5 Solid Waste Services**

The City established a franchise agreement with Valley Vista Services to provide refuse and recycling services to residents and businesses in the City. Valley Vista Services provides refuse and recycling services to the Specific Plan area. The conceptual trash service access plan for the Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas is shown in **Figure 2-12**.

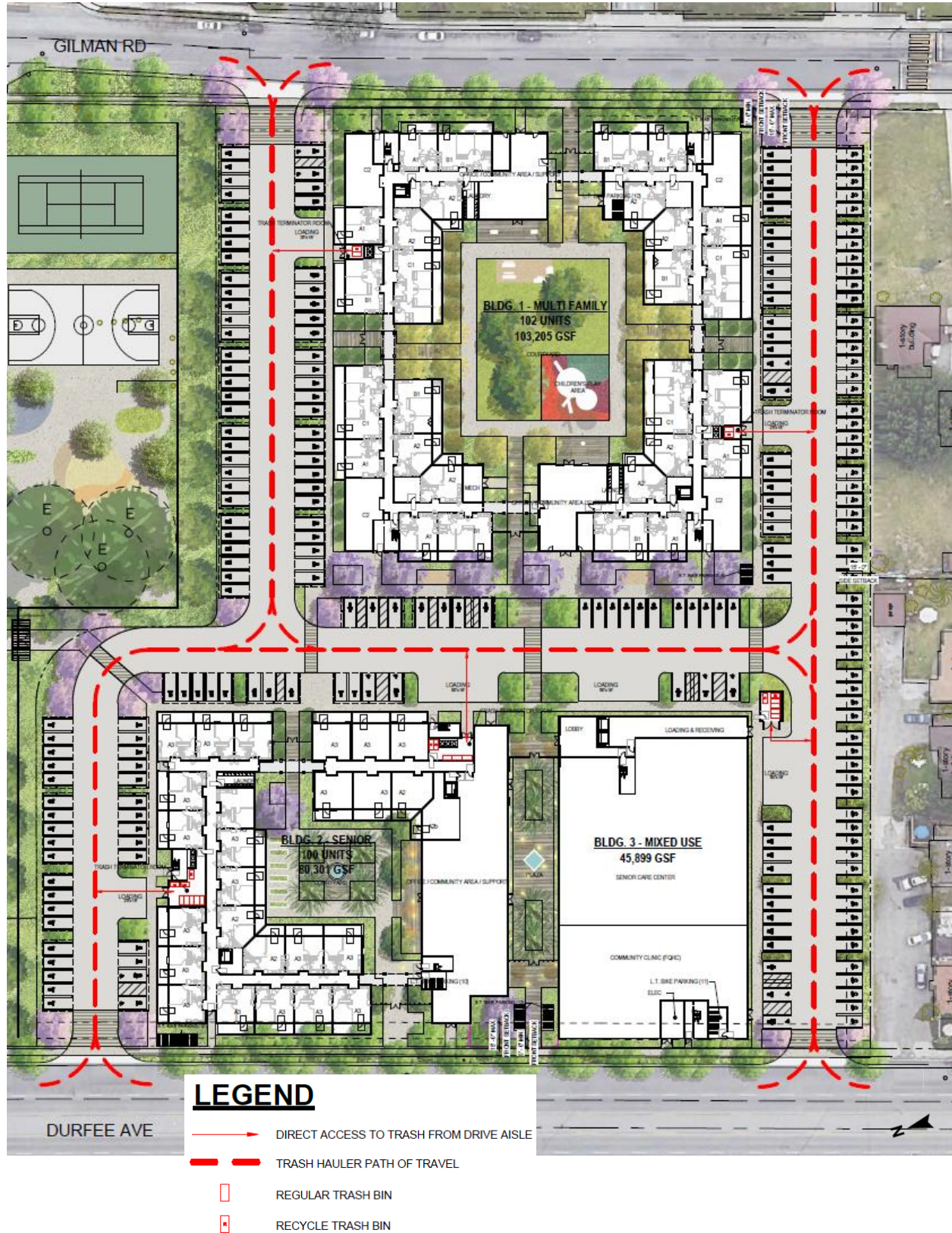
**Figure 2-11: Conceptual Drainage Plan**



**STORM DRAIN NOTES**

- (SD1) CONSTRUCT INFILTRATION TRENCH SIZING: L = 225', DIA = 8' H = 10'.
- (SD2) INSTALL PVC STORM DRAIN PIPE.
- (SD3) ROOF CONNECTIONS FROM THE BUILDING SEE PLUMBING PLANS FOR CONTINUATION
- (SD4) INFILTRATION TRENCH OUTLET PER PLAN
- (SD5) CONSTRUCT CDS PRETREATMENT UNIT BY CONTECH OR APPROVED EQUAL
- (SD6) INSTALL OVERFLOW PVC STORM DRAIN PIPE.
- (SD7) CONSTRUCT CURB DRAIN INLET.

**Figure 2-12: Conceptual Trash Service Access Plan for the Residential, Non-Residential Mixed-Use, and Circulation/Common Area Subareas**



### 2.6.6 Utilities

Southern California Edison provides electricity to the Specific Plan area. Natural gas service in the Specific Plan area is provided by Southern California Gas Company. Telephone service is offered regionally by telecommunications providers, such as AT&T and Verizon. Cable television service is offered by Spectrum, and internet access is offered by AT&T and Spectrum. Electrical, natural gas, and telephone services will be provided at the time contractual arrangements are made in accordance with rules, policies, and extension of service on file with the California Public Utilities Commission. Internet services will be provided at the time contractual arrangements are made. Electrical lines within the Specific Plan area would be primarily located within the Circulation/Common Area Subarea and are shown in **Figure 2-10**.

The existing utilities network within the Specific Plan area is a combination of utility poles carrying electricity via low voltage conduits along with telecommunication and cable TV lines. Overhead utility lines are located along Durfee Avenue, Kerrwood Street, and Gilman Road. The overhead utility lines on Durfee Avenue and Gilman Road will be placed underground during construction of the residential and mixed-use development in the Specific Plan area.

### 2.6.7 Public Services

#### Police

Police protection services are provided by the City of El Monte Police Department within the municipal boundaries of the City. The police station is located at 11333 Valley Boulevard, approximately 1.8 "road miles" west of the Specific Plan area and will have a maximum response time of five (5) minutes or less. Development plans in the Specific Plan area are required to be submitted to the El Monte Police for review with regards to safety and security concerns. On-site security features, such as security cameras and security patrols, would reduce the demand on police protection services.

#### Fire Department

The City of El Monte contracts with the County of Los Angeles Fire Department for fire and paramedic services. Los Angeles County Fire Department Station 167 is located approximately 1.2 "road miles" northwest of the Specific Plan area at 11757 Bryant Road. Los Angeles County Fire Department Station 168 is located approximately 1.1 "road miles" mile southwest of the Specific Plan area at 3207 Cogswell Road. At these distances, the two (2) fire stations would have a maximum response time of five (5) minutes or less.

Development in the Specific Plan area is required to comply with the requirements of the County's Fire Code, which include the provision of adequate fire flow for the proposed development, fire prevention and suppression measures, fire access, and a sufficient number of hydrants. For example, the residential and mixed-use development would include fire suppression systems in all buildings. The San Gabriel Valley Water Company indicates that each of the existing five hydrants that are on or adjacent to the Specific Plan area have a fire flow of 2,500 gallons per minute (gpm) for two (2) hours. The Los Angeles County Fire Department has indicated the need to install eight (8) public fire hydrants each with a required fire flow of 5,750 gallons per minute for four (4) hours. The proposed improvements to the water line within Durfee would be sized to ensure adequate fire flow. Other development in the Specific Plan area would also be required to be reviewed by the Los Angeles County Fire Department and must comply with all the Los Angeles County Fire Department's requirements, including the provision of adequate fire flow, providing access routes that accommodate emergency access (including fire access routes that meet the

minimum width and turning dimensions requirements), and incorporating fire protection and suppression features as required by the Los Angeles Fire Department.

### **Schools**

The Specific Plan area is located within the Mountain View School District and El Monte Union High School District. Schools that serve the Specific Plan area includes the following:

- Twin Lakes Elementary School (K-5), located at 3900 Gilman Road, across the street from the Specific Plan area.
- Madrid Middle School (6-8), located at 3300 Gilman Road.
- Mountain View High School (9-12), located at 2900 Parkway Drive.

Pursuant to California Government Code Section 65995(3)(h), development in the Specific Plan area would be required to pay developer school impact fees to the Mountain View School District and El Monte Union High School District to offset impacts to the school system. The fee would be paid at the time of building permit issuance.

### **Library**

The County of Los Angeles Public Library provides library services to the Specific Plan area. El Monte Public Library is located at 3224 Tyler Avenue, approximately 1.6 miles southwest of the MacLaren Hall property. Norwood Library is located at 4550 Peck Road, approximately one mile northwest of the MacLaren Hall property. The County of Los Angeles Public Library system is financed by property taxes from the service area, general county funds, parcel tax, grants, feeds, and funds raised by the Library Foundation. The libraries provide internet, reading, and recreational programs.

## **2.7 Maintenance Plan**

The proposed residential and mixed-use development in the Residential, Non-Residential, and Circulation/Common Area Subareas would be maintained through the formation of a joint Tenants and Owners Association governed through the approval of Declaration of Covenants, Conditions & Restrictions (CC&Rs). The CC&Rs will address property maintenance of the common driveways, common and public open space areas and landscaping, parking, recycling and refuse storage facilities, noise notification procedures, procedures for solving problems that may arise between the different types of uses or residents, and any and all other conditions of approvals set forth. The Community Park will be maintained by the City.

### 3.0 Development Standards

#### 3.1 Purpose and Intent

This chapter has been prepared in accordance with California Government Code Section 65450 and provides standards for development of uses within the Esperanza Village Specific Plan area. The purpose of these standards is to provide high quality development within the Specific Plan area in conjunction with EMMC. The standards apply to the residential and mixed community-serving vision of the Specific Plan and supplement other applicable regulations in the City’s Zoning Code. EMMC shall regulate development in Esperanza Village Specific Plan area, except as modified by the regulations contained herein. In such cases where the Specific Plan development standards conflict with EMMC, the Specific Plan development standards and regulations shall apply. Any future amendments to the EMMC which are not addressed by the Esperanza Village Specific Plan shall also apply to the Specific Plan area, as appropriate.

This Specific Plan regulates development within the Esperanza Village Specific Plan area, including new construction, additions to buildings, and changes in use on a parcel requiring a building permit from the City of El Monte within the Specific Plan area. Application of these regulations is intended to create a harmonious relationship among the land uses and protect the health, safety, and welfare of the Specific Plan area and its immediate surroundings. Licenses and permits for land development shall be issued only when it has been determined by the City (all departments, officials, or public employees vested with the authority to issue permits or licenses) that the proposed land uses are in conformance with the provisions of the Specific Plan.

#### 3.2 General Provisions

The development standards contained in this Chapter are minimum requirements. In reviewing individual projects requiring discretionary approval, more restrictive standards or conditions may be applied by the City of El Monte to accomplish the guiding principles and objectives of this Specific Plan. In cases where sufficient direction for interpretation of these regulations is not explicit in the text, EMMC shall provide direction. Whenever the provisions and development standards contained herein conflict with those contained in the EMMC, the provisions of the Specific Plan shall take precedence. Where the Specific Plan is silent, the EMMC shall apply.

All construction and development within the Specific Plan area shall comply with applicable provisions of the Uniform Building Code (UBC) and the various related Mechanical, Electrical, and Plumbing Codes, the Grading and Excavation Code, and the Subdivision Code, all as adopted by the El Monte City Council.

#### 3.3 Interpretation, Administration, Enforcement, and Appeals

The City of El Monte Community and Economic Development Director or his/her designee is authorized by the City of El Monte to interpret, administer, and enforce the provisions of this Chapter. The provisions of this Chapter shall be interpreted in a manner that best fulfills the spirit and intent of the Specific Plan. The Director’s decision or determination may be appealed to the City Planning Commission in compliance with EMMC Section 17.18.080 (Appeals).

#### 3.4 Allowable Land Uses and Permit Requirements

##### 3.4.1 Permitted Uses

Allowable uses for each parcel type within the Specific Plan area are identified in **Table 3-1**. Allowable uses are identified as either permitted (P) or prohibited (indicated with a "--"). Any land

use not listed in **Table 3-1** is deemed a prohibited use in the Esperanza Village Specific Plan area, except as outlined in EMMC Section 17.12.050 (Rules and Measurements – Additional Permitted Uses). If a use that is not listed in the Allowable Uses Table is allowed pursuant to the procedure outlined in EMMC Section 17.12.050, then a development application for said use may be filed and processed.

<b>TABLE 3-1: ALLOWABLE USES</b>					
<b>Land Use</b>	<b>Parcels</b>				
	<b>Residential</b>	<b>Mixed-Use</b>	<b>Circulation/ Common Area</b>	<b>County- Related</b>	<b>Community Park</b>
<b>Residential Uses</b>					
Multiple-family, attached (low-, very low-, and extremely low-income housing)	P	--	--	--	--
Senior housing (low-, very low-, and extremely low-income housing)	P	--	--	--	--
<b>Community-Care Uses</b>					
Supportive housing	P	--	--	--	--
<b>Public &amp; Quasi-Public Uses</b>					
Government or government-related facility	--	P	--	--	--
Recreational facility – public	--	--	--	--	P
Urgent care or medical clinic	--	P	--	--	--
Surface Parking	--	--	P	P	--
<b>Retail &amp; Office Uses</b>					
Bakery or pâtisserie, retail	--	P	--	--	--
Coffeehouse or ice cream parlor	--	P	--	--	--
Offices –					
Government	--	P	--	--	--
Medical	--	P	--	--	--
Outdoor seating/dining	--	--	P	--	--
Retail, neighborhood serving	--	P	--	--	--
Job Training Center	--	P	--	--	--
Notes: -- = Not permitted. P = Use permitted by-right. Uses are defined in EMMC Chapter 17.150 (Use Definitions). If a word is not defined in this chapter, or in other provisions of EMMC, the Community and Economic Development Director or his/her designee shall determine the correct definition.					

### 3.5 Development Standards

This section provides the development standards that apply to land uses within the Esperanza Village Specific Plan Area. **Table 3-2** prescribes the development standards applicable to the land uses, structures, and related improvements in the Esperanza Village Specific Plan area. Any situation not specifically addressed by the Esperanza Village Specific Plan shall be subject to EMMC, provided that such regulations are not in conflict with the guiding principles and objectives of the Specific Plan.

<b>TABLE 3-2: DEVELOPMENT STANDARDS</b>	
<b>Development Standard</b>	<b>Standard</b>
Maximum Residential Dwelling Units	202 units
Maximum lot coverage	90 percent
<b>Minimum Dwelling Unit Size</b>	
Studio	475 square feet
1-bedroom	525 square feet
2-bedroom	750 square feet
3-bedroom	1,000 square feet
<b>Maximum Gross Building Square Footage</b>	
Residential	200,000 square feet
Non-residential	46,000 square feet
<b>Maximum Floor Area Ratio</b>	
Residential	1.7
Non-residential	1.7
<b>Maximum Building Height</b>	
Residential	3 stories, & 45 feet Roof structures for the housing of elevators or stairways may exceed the building height limits by a maximum of ten (10) feet provided that: (i) it does not cover more than 20 percent of the entire roofed area, and (ii) it is fully screened from the public right-of-way.
Non-residential	50 feet
<b>Building Setbacks</b>	
Minimum Building Setbacks Front and street side Interior side and rear side	5 feet 5 feet (70 feet if adjacent to a residential zoning district)
Maximum Building Setbacks Front and street side Interior side and rear side	15 feet No limit
<b>Open Space</b>	
Minimum public open space area Residential Non-residential	No minimum 10 percent of building footprint

<b>TABLE 3-2: DEVELOPMENT STANDARDS</b>	
<b>Development Standard</b>	<b>Standard</b>
Minimum open space area Residential	135 square feet per unit; minimum of which shall be 100 square feet per unit of common open space, remainder 35 square feet can be common and/or private open space (e.g., balconies, patios, etc.)
Minimum private open space area Residential Non-residential	No minimum No minimum
<b>Residential Density</b>	
Minimum	25 units/acre
Maximum	35 units/acre
<b>On-Site Parking, Loading and Electric Vehicle (EV) Charging Space Requirements /a/</b>	
Multiple-family attached dwellings (low- and very low-income non-senior housing) /b/ Studios & 1-bedroom units 2- or more bedroom units Manager unit with 2- or more bedrooms Guest parking	0.5 space per unit 0.5 space per unit 2 spaces per unit 1 guest space per 10 units, with a minimum of 2 spaces
Senior housing Studios & 1-bedroom units Units with 2 or more bedrooms Manager unit with 2- or more bedrooms Guest parking	0.5 spaces per unit 0.5 spaces per unit 2 spaces per unit 1 guest space per 10 units, with a minimum of 2 spaces
Non-residential uses	Refer to Chapter 17.70 (Parking Regulations) Table 17.70-5
Loading spaces Residential Non-residential	1 small loading space per 85 units 1 full-size loading space per 20,000 square feet, up to 3 spaces
Electric vehicle charging spaces (residential and non-residential)	10 percent of the total number of required parking spaces
Photovoltaic Solar Carports	Residential parking spaces in the Circulation/Common Area Subarea
/a/ Fractional spaces shall be rounded to the nearest whole number as follows: A) fractional spaces for guest parking and reserved for a specific unit shall be rounded up; B) other fractional spaces of 0.5 or greater shall be rounded up; and C) all other fractional spaces less than 0.5 may be rounded down.	
/b/ Refer to Chapter 17.70 (Parking Regulations) Table 17.70-4 for affordable housing units.	

In addition to the development standards provided in **Table 3-2**, above, development within the Specific Plan area shall be governed by the development standards listed below:

**1. Building Entrances and Façades**

- a. Buildings shall have entrances face public streets and/or publicly accessible areas. Entrances at building corners may be used to satisfy this requirement.

- b. Building façades facing the public right-of-way and on the sides and rear of buildings shall not exceed 50 feet without a change in wall plane and/or architectural design element. Variations in wall planes and design elements may include but are not limited to, changes in material, color, landscaped planter boxes, roof lines, trellises, arches, and decorative tiles.
- c. Reflective building materials shall not be permitted, except as allowed in this Section.
- d. The use of clear glass is required on the ground floor of a building, facing the public right-of-way, a driveway or required parking. After installation, clear glass windows at the ground floor shall not be treated later so as to become opaque or to be blocked so as to prevent visibility of the ground floor interior.
- e. Reflective glazing shall not be permitted on building façades fronting a public street right-of way.
- f. Reflective glass, tinted glass, or other mirror-like materials that are highly reflective shall not cover more than 25 percent of a structure's surface.

## **2. Landscaping**

- a. A minimum of 75 percent of all landscaping shall be drought tolerant.
- b. A minimum of one (1) 24-inch box specimen tree shall be planted in the street setback or parkway area every 35 linear feet of lot frontage, excluding driveways.
- c. A minimum of 25 percent of all common open space areas at the ground level shall be landscaped. A mix of trees, shrubs, and ground cover shall be provided. Landscaping shall be pedestrian friendly and provide areas of shade and accents.
- d. Street setback areas shall be fully landscaped with a mix of trees, shrubs, and ground covers that are compatible with the architectural style of the development.
- e. Landscaping shall not obstruct views of motorists or pedestrians.
- f. Water features shall be placed away from areas of full sun to reduce evaporation and reduce water required for operation. Reclaimed water shall be used for water features.
- g. Drought-tolerant trees and plants and artificial turf shall be used for courtyards and flexible spaces.
- h. Landscape maintenance shall be performed on a regular basis to maintain the visual quality of the landscaped areas.
- i. Permanent and automatic irrigation facilities shall be provided in all permanent landscaped areas, except potted containers.
- j. Irrigation of plant materials shall be efficiently managed through automated irrigation control systems appropriate to the unique needs of trees, shrubs, and turf.
- k. A minimum of one (1) 24-inch box specimen tree shall be required for every six (6) parking spaces, or portion thereof, and shall be located throughout the surface parking area except where vehicle canopies equipped with solar panels are located above the parking spaces. This requirement shall be in addition to the required trees planted in the street setback areas.

### **3. Lighting**

- a. All exterior lighting shall focus internally within the property to decrease light pollution onto neighboring residential properties.
- b. All exterior lighting and other means of illumination shall be shielded, equipped, and oriented in a manner as to prevent any glare or direct illumination on any public street, residential zoning district, or other property.
- c. Light poles and wall-mounted lights shall not exceed a maximum height of 12 feet.
- d. Light poles and fixtures shall complement the overall site architecture and design in terms of scale, color, and style.
- e. Lighting levels shall be sufficient for the safety and security of vehicular and pedestrian traffic but shall not spill onto adjacent residential properties.
- f. Lighting shall be provided in all parking, vehicular and pedestrian circulation areas, loading areas, and courtyards. Lighting fixtures shall be designed and placed in a manner to provide uniform illumination over all parking areas.
- g. Exterior lighting shall be placed in a manner to ensure adequate lighting levels and to create an even level of illumination.

### **4. Loading Areas**

- a. Exterior loading areas shall be located a minimum of 70 feet from a public street and residential zoning district.
- b. Loading areas shall be screened from view from public street rights-of-way, residential zoning districts, and public parks.
- c. Loading spaces shall be clearly marked as being distinct from required parking spaces and aisles.

### **5. Open Space**

- a. For residential developments, private open space shall be provided in the form of a balcony or patio and shall be directly adjacent to and accessible from the unit it serves.
- b. If balconies are provided for residential units, balconies shall not be placed in a location that would overlook the backyard of any residential properties.
- c. Courtyards and roof decks may satisfy the common open space requirement provided they are available for use by all units.
- d. Common open space areas shall be conveniently located and accessible to all units.
- e. Common open space shall have a minimum dimension of 20 feet in any direction.
- f. Each common open space area at the ground level shall have a minimum area of 600 square feet.
- g. Roof decks that are used as common open space shall have a minimum area of 400 square feet.
- h. Street yard setbacks shall not be used to satisfy the common open space requirement.

## **6. Parking**

- a. Residential parking shall be designated and signed or separated from other required non-residential parking.
- b. Non-guest spaces for residential uses shall be reserved.
- c. Residential parking spaces that are not guest parking spaces shall be either enclosed or be under PV solar carports.
- d. Exterior parking stalls and driveways shall be separated from buildings by a pedestrian walkway and/or landscape strip.
- e. Guest parking for residential development shall be clearly identified with the words "Guest Parking" painted in the space with minimum eight (8) inch letters or be provided with a sign in front of the parking spaces.
- f. Electric vehicle (EV) charging stations shall be reserved for parking and charging of EV only. Each EV charging station shall be posted with signage indicating the space is reserved for EV charging purposes.
- g. The use of shared parking spaces for non-residential uses is encouraged. Shared parking standards are based on the assumption that the non-residential parking spaces will be open and available for short-term parking to serve different uses which may have different peak hours.

## **7. Pedestrian Walkways**

- a. Pedestrian walkways shall be a minimum of five (5) feet wide.

## **8. Trash and Recycling Enclosures**

- a. External trash and recycling enclosures shall be located a minimum of 50 feet from a public street right-of-way and residential zoning district.
- b. All trash and recycling enclosures shall be designed to architecturally integrate within the overall architectural theme of the Specific Plan area.
- c. Common trash enclosures shall be provided in sufficient quantity to accommodate all refuse and recycling generated.
- d. A refuse plan shall be submitted for review and approval by the City's Solid Waste Service Provider. The plan shall be approved prior to the approval of any entitlements.

## **9. Vehicular Circulation**

- a. Vehicular circulation shall be designed so that all movement involving parking, turning, or loading shall occur on-site and not within the public right-of-way.

## **10. Walls, Fences, and Gates**

- a. A five (5)-foot wide landscape buffer shall be placed along the property line that adjoins a residential zoning district.
- b. Walls and fences within 20 feet of a public right-of-way shall not exceed 42 inches in height. In all other areas, walls and fencing shall not exceed a height of six (6) feet. A solid six (6)-foot tall slumpstone or masonry wall shall be installed and maintained adjacent to the property line that adjoins a residential zoning district, except within 20 feet of a public right-of-way.
- c. Fencing that is installed within 20 feet of a public right-of-way shall have one (1)

- decorative block pilaster placed every ten (10) feet in length.
- d. Fences and gates that separate the Residential and Circulation/Open Space Subareas from the Community Park Subarea shall be a minimum 50 percent open. The materials shall be made of decorative wrought iron. Decorative block pilasters shall be placed at each corner and at the end of the fencing. Within 20 feet of public right-of-way, the fences and gates shall not exceed 42 inches in height. In all other areas, fences and walls shall not exceed six (6) feet in height.
  - e. Fences and gates that are placed at a driveway entrance, within an on-site driveway, or on-site parking area shall be a minimum 50 percent open. The materials shall be made of decorative wrought iron. Fences and gates shall not exceed six (6) feet in height.
  - f. Barbed, pointed, spiked, razor, piercing or other similar materials shall not be attached to any walls, fences, or gates. Chain link fencing shall not be permitted.

### **11. Affordable Housing Restrictions**

- a. The developer of the residential development shall agree to, and the City shall ensure that, the occupants of the low-income residential units are persons and families of low, very low-, and extremely low-income, as defined in Health and Safety Code Section 50093, and that the units are offered at an affordable housing cost, as that cost is defined in Health and Safety Code Section 50052.5.

### **12. Other Requirements**

- a. With the exception of what is required by this Specific Plan, all development shall conform with the requirements in Chapters 17.50 (Performance Standards), 17.60 (General Development Standards), 17.70 (Parking Regulations), 17.72 (Landscape Requirements), and 17.80 (Signage Regulations) of the EMMC.

#### **3.5.1 Limitations and Exceptions to Permitted Uses and Structures**

Exceptions may be allowed for design flexibility within the Specific Plan area and shall be approved by the City Planning Commission. The following findings shall be made prior to the granting of any exceptions:

- Compliance with a development specification would preclude an effective and attractive design solution that fulfills the desired form, function, and character of the area as specified in the Specific Plan.
- The granting of an exception will not constitute a grant of special privilege inconsistent with the limitations upon other properties that are subject to the same development specification.
- The granting of an exception will not be detrimental to the health, safety or general welfare of persons residing or working in the Specific Plan area and the surrounding neighborhood.
- The granting of the exception will not be detrimental or injurious to properties and improvements in the surrounding neighborhood or to the general welfare of the City.

## 4.0 Design Guidelines

This chapter describes the general architectural and landscape design guidelines prescribed for the Esperanza Village Specific Plan area. Development of each land use in the Specific Plan area will utilize design elements that bring variation and interest to the Specific Plan area. The following guidelines are provided as a supplement to the El Monte Comprehensive Design Guidelines. Applicants, designers, and reviewing bodies should ensure that projects comply with the Specific Plan design guidelines, in addition to the El Monte Comprehensive Design Guidelines and the El Monte Zoning Ordinance. Should a conflict occur, the guidelines provided herein shall be utilized. The guidelines have been organized to provide direction on architectural design and style; building façades, form, massing, materials, and colors; landscape design, and utilitarian aspects of a project and should be adhered to irrespective of use.

It is expected that development proposed within the Specific Plan area will meet the intent of the design guidelines included herein in order to facilitate the implementation of the Specific Plan's guiding principles.

### 4.1 Purpose and Intent

The Design Guidelines presented in this chapter establish the quality and character of the built environment and create an aesthetically cohesive appearance of the Esperanza Village Specific Plan area. The Design Guidelines provide both a vision of the Specific Plan's overall character, and specific aesthetic expectations regarding the various components of the Specific Plan. More specifically, the purpose of the Design Guidelines is as follows:

- To provide the City of El Monte with assurance that the Esperanza Village Specific Plan will be designed and developed in accordance with the quality and character described within this Specific Plan.
- To provide guidance to developers, architects, landscape architects, builders, engineers, and other professionals needed to achieve and maintain the desired design quality.
- To provide guidance to City staff, the Planning Commission, and the City Council in the review of future development projects within the Specific Plan area.
- To provide clear, understandable, and achievable design components for development in the Specific Plan area to achieve a cohesive appearance.

The Design Guidelines are a design framework for the buildings and landscape to convey an aesthetically interesting community identity within an infill setting. The Design Guidelines are intended to create quality development while allowing flexibility, promoting engaging aesthetics without limiting the product type or configuration of the built environment.

### 4.2 Conceptual Elevations

**Figures 4-1** through **4-3** show conceptual architectural elevations for the development proposed in the Residential and Mixed-Use Subareas. While the overall architectural style for development proposed is Spanish Modern, a different architectural style may be proposed for other future development in the Specific Plan area.

**Figure 4-1: Conceptual Elevations – Building 1**



Gilman Road - East Elevation



Private Drive - North Elevation



Private Drive - West Elevation



Private Drive - South Elevation

**Figure 4-2: Conceptual Elevations – Building 2**



Durfee Avenue - West Elevation



Open Space - South Elevation



Private Drive - East Elevation

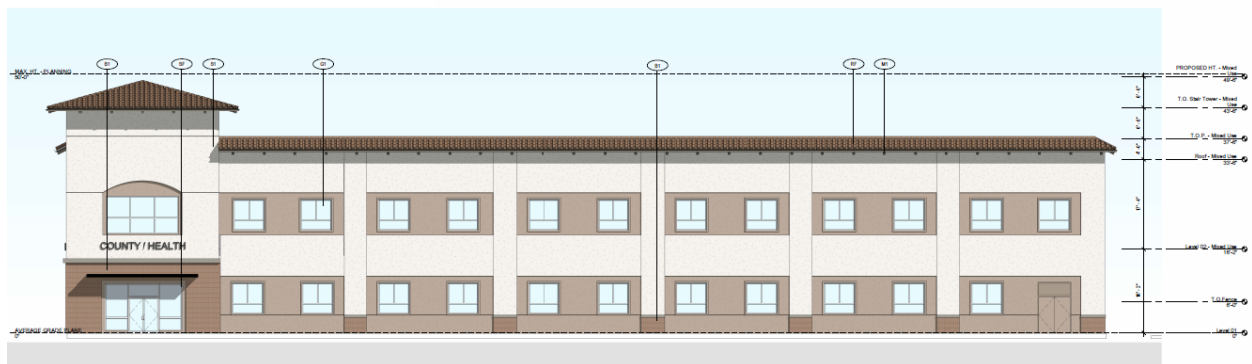


Private Drive - North Elevation

Figure 4-3: Conceptual Elevations – Buildings 3



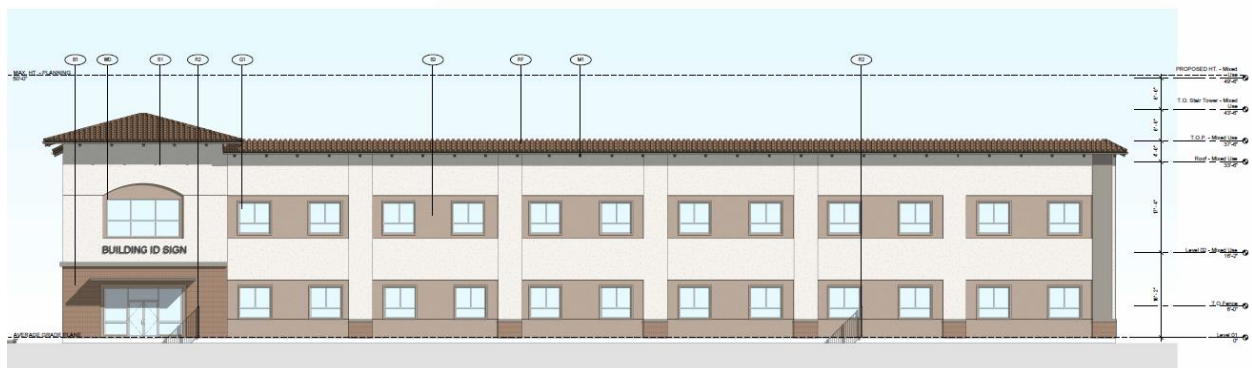
Durfee Avenue - West Elevation



Private Drive - South Elevation



Private Drive - East Elevation



Common Open Space - North Elevation

## 4.3 Architectural Design Guidelines

### 1. Architectural Design and Style

- a. The architectural styles for development in the Specific Plan area should be expressive of and authentic to that style.
- b. Building design should be compatible with and complement adjacent land uses while maintaining or enhancing the character of development.
- c. Structures and their related architectural elements should be visually consistent to provide a unified architectural theme.
- d. All building elements, such as materials and colors, detail elements ( courtyards, surface treatments, and materials), and functional elements (exterior stairs, railings, guardrails, gutters, screen walls) should be consistent with and integral to the overall building design, consistent with the architectural vernacular of the building and complement the surrounding neighborhood. A unified palette of materials should be used on all sides of buildings.

### 2. Building Façades

- a. Building façades that face public streets, sidewalks, open space areas, and other pedestrian areas should incorporate articulation and detailing that create visual interest and reinforce the pedestrian scale. This includes variation in massing, roof forms, and wall planes, as well as surface articulation.
- b. The design of building façades should vary. Variations may include changing the rooflines, introducing vertical architectural features (such as columns and pilasters), and changes in building materials and colors.
- c. Buildings should maintain a consistent quality and character in terms of the articulation, detailing, and finishes on all elevations visible from public streets, open space areas, and parking areas, not just the primary façade.
- d. Avoid the creation of uninterrupted blank wall surfaces on all building façades, particularly adjacent to a public street or open space area. The maximum length of any continuous blank wall facing shall not exceed 30 feet.
- e. All elevations should have building façades articulated through the use of offset massing elements, complementary colors and materials, and/or variations in building setbacks. Building surfaces should be effectively articulated to enhance the pedestrian experience.

### 3. Building Forms

- a. Building forms should be well proportioned, resulting in a balanced composition of elements along public streets.
- b. Provide variations in roof forms, such as a combination of changes in plane, form, ridgelines, and/or heights appropriate to the architectural style.

### 4. Building Massing

- a. Building mass and scale should not overwhelm the surrounding uses.
- b. Variation in wall and roof planes should be used to break up the massing of large structures.

## 5. Building Entrances and Windows

- a. Main building entrances should be clearly defined and provide a focal point for the building as a whole. Building entrances should be identifiable and accentuated through changes in massing, color, façade articulation, and/or building materials. Strategies for architecturally defining building entries may include the use of architectural features such as columns, pilasters, and different materials.
- b. Buildings should have entrances facing the street, corner of the building adjacent to the street, or other publicly accessible areas.
- c. The design and materials used for building entrances and windows should complement the architectural style of the building.
- d. Building entrances shall incorporate two (2) or more of the following:
  - i. Change in wall and/or window plane;
  - ii. A projecting element above the entrance;
  - iii. A change in material or detailing;
  - iv. Architectural elements and decorative fixtures; and/or
  - v. Changes in the roofline.
- e. Windows should be inset from building walls to create shade and shadow detail.
- f. The patterns of openings (windows and doors) should correspond with the overall rhythm of the building and should be consistent in form, pattern, and color of the architectural style.
- g. Window trim used on elevations facing the streets should be repeated on all sides.

## 6. Building Materials and Colors

- a. Durable, high-quality exterior building materials should be used to convey the sense of quality, minimize maintenance concerns, and promote buildings that will last over time. Examples of appropriate materials include stone, tile, terra cotta, brick, metal, glass and architectural concrete. Other materials are acceptable if they meet the same standards for durability and visual quality. Stucco should be of smooth finish. Wood may be acceptable depending on its sturdiness and appearance.
- b. Building materials and colors should be used to unify and provide visual interest to building exteriors and reinforce building identity.
- c. Contrasting colors are encouraged to accentuate details such as trim, windows, doors, and key architectural elements. Colors of the trim and architectural details should be subtly contrasting but complementary of the overall building color. The colors should reinforce the desired architecture style.
- d. Materials and colors should be selected with the design objectives of avoiding monotony, providing depth and interest, and promoting visual diversity along public streets. Colors should complement the architectural style and overall color scheme of the building.

## 7. Functional Elements

- a. Loading areas, storage areas, trash bins, and mechanical equipment shall be placed to the rear or side of buildings away from public street rights-of-way and residential zoning

districts. These elements shall be physically screened from public view and should be designed to be compatible with the architectural style and character of the associated development, such as through the use of similar finishes, materials, and details as the associated structures. These elements should be designed, located, or screened so as not to be readily identifiable from adjacent streets.

- b. Ground mounted equipment and meters shall be visually concealed and should be designed to not detract from the building architecture.
- c. Exterior stairways, pedestrian bridges, and railings should be designed as an integral part of the overall architecture of the building and not appear as tacked on.
- d. Trash enclosures should be designed with similar finishes, materials, and details as the primary building(s) within the project area.

## **8. Lighting**

- a. Lighting should be designed as an integral part of the development and should be consistent with the architectural building style and character.
- b. Building illumination should be focused on building entrances and signs. Overly bright and indiscriminate illumination of building façades should be avoided.

## **9. Open Space Areas**

- a. Open space areas should be integrated into the overall design of the development.
- b. Common and public open space areas, outdoor furniture, and fixtures should be designed to be compatible with the architectural style of the development.
- c. Common and public open space areas should be well-defined by buildings and landscaping, be designed at a pedestrian scale, landscaped for shade and ornamentation, furnished with areas for sitting and dining, and lighted for evening use.
- d. Pedestrian-scaled elements and amenities shall be provided in common and public open space areas.
- e. Create attractive and flexible common and public open space areas that promote outdoor recreation and community gathering while being sensitive to the privacy needs of adjacent residences within the Specific Plan area and the surrounding neighborhood.
- f. Common and public open space should provide shaded areas, such as seating under tree canopies and overhead shade elements.
- g. Buildings and residential units should be designed to overlook common and public open space areas to ensure safety and visibility.
- h. Common and public open space areas should be designed as a place for residents and visitors to relax, play, and interact. Development should include a mix of amenities in common and public open space areas that provide opportunities for community gatherings, interactions, and quiet spaces. Amenities may include barbecue areas, shade trees, shade structures, sculptural play structures, tables and chairs for community dining, flexible lounge seating, quiet bench seating, flex lawns, water features, outdoor couches, gathering spaces with firepit, trellises, and overhead lighting.
- i. The perimeter of common open space areas shall be landscaped with a mix of trees, shrubs, and groundcovers.

- j. Decorative and accent pavers and tiles shall be consistent with the architectural style of the development.

## 10. Parking

- a. Surface parking lots should not be located in the setback area between a building façade and a public street right-of-way.
- b. Where possible, limit views of parking areas from public street rights-of-way by placing parking spaces behind buildings and/or in podium parking areas. If surface parking lots are provided and are visible from a public street right-of-way, views of the surface parking lot should be softened with landscaping.

## 11. Signage

- a. Signage should be constructed of high-quality materials that enhance the character of the development.
- b. Signage should be designed to be consistent with the architectural style of the development. The materials, colors, scale, and proportion of the signs should complement the architectural style of the development.

## 12. Walls, Fences, and Gates

- a. Walls, fences, and gates should be designed with materials and finishes that complement the architectural style of the development. Landscaping, such as vines, shrubs, and/or trees, should be provided adjacent to the walls and fences.
- b. Walls that are used for screening purposes should be of solid material. Chain link or similar metal wire fencing with slats is prohibited for screening purposes.

## 13. Sustainable Design

- a. The driveway entrances to surface parking lots, driveway intersections, and pick-up/drop-off areas should be accented with enhanced paving and landscaping. Permeable or semi-permeable surfaces such as pavers are preferred for accent paving.
- b. The use of solar carports at surface parking lots are encouraged.
- c. Demonstrate sustainable design principles in open space areas through the appropriate use of drought tolerant and native plant materials, utilization of recycled products, and/or low energy and low water consumption requirements. Reclaimed water should be used wherever possible.

## 14. Safety Design

- a. Incorporate appropriate Crime Prevention Through Environmental Design (CPTED) features in the design of spaces as territorial reinforcement, strategic natural surveillance, well-lit spaces, and appropriate maintenance.

## 4.4 Landscape Design Guidelines

The conceptual landscape plan is shown in **Figure 2-2**. The conceptual landscape plan is an example of what could be developed and is not intended to depict what is required to be developed. Rather, the landscaping depicted in **Figure 2-2** should be used as a guideline for landscape plans submitted in conjunction with future implementing projects.

## 1. Plant Palette

- a. The tree and plant palette for the Specific Plan area are provided in **Figures 4-4 and 4-5**, respectively. The plant palette establishes a base palette for the Specific Plan area's landscape design. Other similar plant materials may be substituted for these species, provided the replacement plants are drought-tolerant, complement the architectural style of development, and create year-round interest.
- b. The plant palette should include shrubs and groundcovers that are commonly used throughout Southern California and complement the Specific Plan's design theme and setting. The plant materials should be water-efficient species, rated low or moderate by the Water Use Classification of Landscape Species (WUCOLS), native to Southern California or naturalized to the arid Southern California climate.
- c. Encourage the use of native (California-Mediterranean) and/or drought tolerant materials. Shrubs and groundcovers should be perennial type, non-invasive, and require minimal trimming.

## 2. Streetscape

- a. Where possible on Gilman Road, Kerrwood Street, and Durfee Avenue, the following minimum parkway width should be placed between the sidewalk and the street:
  - Durfee Road – four (4)-foot wide continuous parkway
  - Gilman Road – five (5)-foot wide continuous parkway
  - Kerrwood Street – ten (10)-foot wide continuous parkway

The parkway should be landscaped with a mix of ground covers, shrubs, and trees to buffer the sidewalk from traffic and to provide an enhanced pedestrian area. If a parkway cannot be accommodated due to insufficient space, landscaped planters with street trees should be installed in lieu of the landscaped parkway.

- b. The street trees should be a minimum of 24-inch box specimen.

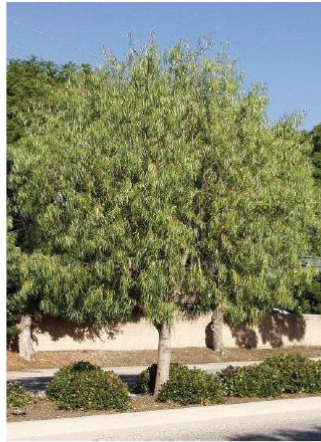
## 3. Other Landscape Design Guidelines

- a. Landscaping should enhance building façades, complement architectural features, emphasize focal points, provide shade, and add visual interest.
- b. Landscaping should be compatible with the architectural style of the development.
- c. Landscaping should be used to activate building façades, screen less attractive elements, provide shade, and add color, texture and visual interest. Landscape materials should be of high quality and suitable for the Southern California climate.
- d. Outdoor furnishing should be high quality, durable, and consistent in style with the landscape design and architectural style of the development.
- e. Canopy trees should provide shade and visual comfort in common and public open space areas, as well as other areas with pedestrian activities.
- f. Shading materials should be used to shade open space areas and outdoor seating and dining areas. The shading materials should complement the architectural style of the development.
- g. Landscaping should be provided along the perimeter of common open space areas.

**Figure 4-4: Tree Palette**



Platanus x acerifolia 'Columbia'  
Columbia London Plane - **Street & Parking Lot Tree**



Geijera Parviflora  
Australian Willow



Jacaranda mimosifolia  
Jacaranda - **Flowering Accent Tree**



Lagerstroemia indica 'Natchez'  
Crape Myrtle - **Flowering Accent Tree**



Platanus racemosa  
California Sycamore Tree - **Courtyard Tree**



Phoenix dactylifera  
Date Palm



Cupressus sempervirens  
Italian cypress



Citrus  
Dwarf Citrus tree - **Podium accent trees in pots**



Arbutus 'Marina'  
Marina Strawberry Tree - **Flowering Accent Tree**



Lophostemon confertus  
Tristania Conferta - **Parking Lot Tree**

**Figure 4-5: Plant Palette**



## 5.0 Implementation and Administration

Development within the Specific Plan area will be implemented through the City’s approval of tentative and final tract maps, site plans, plot plans, building permits, and other permits that may be required by the City of El Monte. The implementation process described herein provides the mechanism for review and approval of development or construction of the individual components of the Specific Plan area.

### 5.1 Required Actions and Entitlements

When a Specific Plan application has been submitted, is deemed complete by the Community and Economic Development Director, and has met and completed all the requirements of CEQA and the various technical studies as deemed reasonably necessary by the Community and Economic Development Director or by the EMMC, the application will be scheduled for a public hearing with the Planning Commission. Such application may accompany other applications, such as a General Plan Amendment, Zone Change, Tentative Tract Map, or Conditional Use Permit application, and may be heard at the same public hearing. Such public hearing shall be noticed as required by the EMMC.

The Planning Commission shall take action by resolution recommending granting or denying approval of the applications to the City Council. The City Council, after receipt of the report and recommendations from the Planning Commission shall hold a final hearing. Such public hearing shall be noticed as required by EMMC.

### 5.2 Permits and Discretionary Actions

The following amendments were approved by the El Monte City Council on November 29, 2022:

- General Plan Amendment No. 04-22: Amended the General Plan land use designation for the MacLaren Hall property from Public Facilities to Esperanza Village Specific Plan, which describes the intended development in the Specific Plan area. The General Plan Amendment was amended concurrently with the adoption of the Esperanza Village Specific Plan to ensure consistency between the two documents.
- Zone Change No. 05-22: Changed the zoning classification for parcels of land within the Specific Plan area from “Public Facilities” to “Specific Plan (SP-5)”.
- Specific Plan No. 06-22: Adopted the Esperanza Village Specific Plan (SP-5), which established the boundary of the Specific Plan area and established the land use and development standards and regulations, as well as design guidelines, that are applicable solely to the Specific Plan area to guide consideration by the City of individual development project applications for lands located within the Specific Plan area.
- Code Amendment No. 802: Codified the development standards for the Esperanza Village Specific Plan in the City’s Zoning Code.

The provisions contained in this Esperanza Village Specific Plan constitute the primary land use and development standards for the Specific Plan area. These regulations are applied in addition to the provisions as set forth in the EMMC Title 17 (Zoning Code).

#### 5.2.1 Tentative Tract Map

The proposed development requires the approval of a Tentative Tract Map. The Tentative Tract Map shall be processed in a manner pursuant to requirements of EMMC Title 16 (Subdivision

Ordinance). The Tentative Tract Map shall be consistent with the applicable provisions of the Development Standards, Regulations, and Design Guidelines adopted as part of the Esperanza Village Specific Plan.

### **5.2.2 Development Review**

The procedures and regulatory provisions necessary to administer development review within the Esperanza Village Specific Plan shall be subject to the requirements as set forth in EMMC Title 17 (Zoning Code). Development in the County Subarea is not required, but recommended, to comply with the City's design review requirements.

### **5.2.3 Design Review**

Refer to EMMC Chapter 17.122 (Design and Minor Design Reviews) for design review requirements of new, expanded, and remodeled buildings. Development in the County-related Subarea is not required to comply with the City's design review requirements.

### **5.2.4 Building Permits**

No building permit shall be issued for any development within the Esperanza Village Specific Plan area, or part thereof, until the Community and Economic Development Director, Planning Commission, and City Council have approved the Specific Plan.

## **5.3 Expiration of Approval and Extensions**

In any case where a Specific Plan and related entitlement approval have been granted and a building permit not issued within 12 months after the effective date of granting thereof, the time shall be automatically extended in accordance with the remaining time on the accompanying Vesting Tentative Tract Map.

Extensions of time for any Specific Plan or other related entitlement approvals shall be determined by the Planning Commission. Extensions shall not be considered unless a letter specifying the following information is received by the Community and Economic Development Director before the date on which the approval expires:

- A description and documentation of good faith efforts to effectuate the plan; and
- A description and documentation of acts, conditions or events beyond the permittee's control which precluded project implementation.

## **5.4 Severability**

This Specific Plan document enables the City of El Monte to facilitate the processing and approval of implementing permits and entitlements necessary for development of the Specific Plan area. In the event that any provision or portions of any provisions of this Specific Plan or its application to any person or circumstance is held to be invalid, unenforceable, or unconstitutional by any court of competent jurisdiction, in whole or in part, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity and enforceability of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application. The remainder of this Specific Plan and the application of those provisions to other persons or circumstances shall not be affected.

## **5.5 Applicability**

The development standards, regulations, and design guidelines as contained in the Specific Plan shall apply in their entirety in the review of new development proposals. However, it is recognized

that existing site conditions may constrain the extent to which these development standards, regulations and design guidelines can be met.

## 5.6 Specific Plan Phasing

Future development in the Esperanza Village Specific Plan area would occur over a multiple year timeline. The phasing plan described in this section is tentative and would be finalized to the satisfaction of City staff prior to the issuance of building permits. Phase 1 would involve site clearing and the demolition of all existing buildings and would be handled by the County of Los Angeles. Construction of Phase 1 is anticipated to last approximately six (6) months.

Phase 2 is anticipated to occur immediately after Phase 1 and would involve construction of the northern half of the Specific Plan Area in the County and Community Park Subareas. Construction of the surface parking lot in the County Subarea and the Community Park would occur during this phase and is anticipated to last for approximately 15 months.

Phase 3 is anticipated to occur immediately after Phases 1 and would involve the construction of the entire southern half of the Specific Plan Area, which consists of the Residential, Mixed-Use, and Circulation/Common Area Subareas. During this phase, the residential buildings (Buildings 1 and 2) and mixed-use building (Building 3) would be constructed. On- and off-site wet and dry utilities would be installed, paving would occur in the Circulation/Common Area Subarea, and the sidewalks and parkways adjacent to the Residential, Mixed-Use, and Circulation/Common Area Subareas would be constructed. Phase 3 construction would last for approximately 30 months.

All new development in the Specific Plan area shall provide the appropriate level of public improvements, services, and utilities to adequately serve the proposed development. Confirmation by the City of El Monte Public Works Department of adequate facilities shall be provided prior to the issuance of building permits.

## 5.7 Administration and Enforcement

The Esperanza Village Specific Plan serves both a planning and regulatory function. It is the means by which the City of El Monte General Plan is implemented in the Specific Plan area. If a condition, issue, or situation occurs that is not sufficiently covered or provided for in this Specific Plan, those that are applicable for the most similar issue, condition, or situation shall be used. If there is a conflict found between this Specific Plan and the City's Municipal Code, the contents of this Specific Plan shall prevail. Where the Specific Plan is silent, the provisions of EMMC shall govern.

Unless otherwise provided, any ambiguity concerning the content or application of the Specific Plan shall be resolved by the Community and Economic Development Director or his/her designee in a manner consistent with the purpose, guiding principles, and objectives of the Esperanza Village Specific Plan. The Community and Economic Development Director or his/her designee shall be responsible for interpreting and enforcing the site development standards and design guidelines set forth in the Esperanza Village Specific Plan. All officers, employees, and officials of the City of El Monte who are vested with the duty or authority to issue permits or licenses shall conform with the provisions of this Specific Plan and shall not issue any permit or license, or approve any use or building, which would be in conflict with this Specific Plan. Any permit, license, or approval issued that is in conflict with the requirements of this Specific Plan shall be considered null and void.

Any administrative interpretation of the Esperanza Village Specific Plan may be submitted for review to the Community and Economic Development Director and shall be subject to appeal to

the Planning Commission and the City Council in accord with provision set forth in EMMC Title 17 (Zoning Code).

## 5.8 Specific Plan Amendments

Certain modifications to the Specific Plan text and exhibits may be necessary during the life of the Specific Plan. Any modifications to this document shall occur in accordance with the amendment process described in this Section. The Esperanza Village Specific Plan may be amended as outlined in EMMC Chapter 17.130 (Specific Plans). The amendment shall demonstrate that it meets the intent of the Specific Plan's policy framework, including its guiding principles and Specific Plan objectives, or provide a finding that the amendment enhances the Specific Plan or is necessary to implement to Specific Plan. These amendments, should they occur, are divided into two categories:

- **Minor Modifications** – Minor Modifications allow for administrative changes subject to review and action by the Community and Economic Development Director.
- **Formal Amendments** – All other proposed changes that are not minor modifications are considered Formal Amendments to the Specific Plan and shall be subject to the review and approval of the City Council. The Planning Commission shall first hear and consider applications for Specific Plan Amendments and provide a recommendation to the City Council. All amendments shall be consistent with the goals, policies, and objectives of the City of El Monte General Plan and the purpose, guiding principles, and objectives of the Esperanza Village Specific Plan.

### 5.8.1 Minor Modifications to the Specific Plan

Minor Modifications are those modifications to the Specific Plan which are minor in nature and in substantial conformance with the approved specific plan text, development standards and/or design guidelines and consistent with the overall purpose, guiding principles, and objectives of the Esperanza Village Specific Plan, but which do not result in an increase in environmental impacts already assessed in the IS/MND for the Specific Plan. These minor changes may be made administratively by the Community and Economic Development Director, subject to appeal to the Planning Commission, and subsequently the City Council.

Applicants seeking a Minor Modification to the Specific Plan shall complete and submit an application to the City of El Monte Planning Division. Prior to approving an application for Minor Modification, the Community and Economic Development Director must find (i) the minor modification is consistent with the purpose, guiding principles, and objectives of the Esperanza Village Specific Plan, (ii) that the minor modification preserves the quality of the Specific Plan's built environment, and (iii) that the minor modification does not adversely impact the public health, safety and welfare. The Community and Economic Development Director shall have the discretion to refer any request for modification to the Planning Commission or City Council.

The following list provides examples of minor modifications that may be made to the Specific Plan administratively, at the discretion of the Community and Economic Development Director.

- Modification of design features, such as architectural details, paint colors, landscape treatments, fencing, lighting, and entry treatments.
- Location and height of buildings as long as they meet the Specific Plan standards and guidelines.

- Minor modifications to the list of permitted uses, which such modifications to permitted uses shall comply with Section 17.12.050.
- Minor changes to the infrastructure, such as street layout or widths, drainage, water, and wastewater systems, which do not have the effect of increasing development capacity in the Specific Plan area, or altering the major design concepts of the Specific Plan, as recommended by the City Director of Public Works.
- Decreasing the development by no more than 15 percent of dwelling units or gross square footage of the development, provided that the total unit count meets the minimum density requirement. A decrease of more than 15 percent in total units or square footage of the development would require Planning Commission approval.
- Lot line adjustments, and easement locations. Lots cannot be created or deleted.
- Phasing adjustments, such as infrastructure timing/completion (i.e., wet and dry utilities, street improvements).
- Modifications of a similar nature to those listed above which are deemed minor by the Community and Economic Development Director, which are in keeping with the purpose and intent, guiding principles, and objectives of the Specific Plan, and which are in conformance with the City of El Monte General Plan and the IS/MND.

### **5.8.2 Formal Amendments to the Specific Plan**

All Specific Plan modifications which do not meet the criteria of a Minor Modification shall be deemed to require a Formal Amendment to the approved Specific Plan. All Formal Amendments to the Esperanza Village Specific Plan shall require submission of a code amendment and be in compliance with the requirements of EMMC Chapter 17.128 (General Plan and Zoning Amendments) and Chapter 17.130 (Specific Plan), reviewed for approval by the City Council. Whether classified as administrative or formal amendments, all such changes to the Specific Plan shall reflect the same comprehensive analysis which was undertaken in the adoption of the Specific Plan and may require additional environmental review.

As required by California Government Code, all government agencies significantly affected by the proposed Formal Amendment shall be notified of the proposed action prior to the approval. In addition, as required by CEQA, Specific Plan Amendments shall be appropriately reviewed in accordance with the State CEQA Guidelines with the City of El Monte serving as CEQA Lead Agency.

In considering approval or disapproval of Specific Plan Amendments, the Planning Commission (on recommendation) and City Council shall find that the request satisfies the following criteria:

- The Specific Plan Amendment is consistent with the goals and objectives of the City's General Plan and Esperanza Village Specific Plan in effect at the time of consideration.
- The Specific Plan Amendment is compatible with the surrounding land uses with respect to use, development standards, density, or issues of health, public safety, and general welfare.
- The Specific Plan Amendment is consistent with the overall design character and general structure of the Specific Plan as set forth in this Specific Plan document.
- Any impacts from the Specific Plan Amendment can be satisfactorily mitigated.

A strikeout/underline copy of the Specific Plan text shall be provided when changes are proposed. Any Specific Plan exhibits affected by the proposed amendment shall be updated. Additionally,

any Specific Plan technical studies and/or additional environmental studies shall be updated as deemed necessary by the Community and Economic Director and/or other City officials.

### **5.8.3 Specific Plan Amendment Initiation**

Any Specific Plan Amendment initiated by an applicant requires preliminary review by the Community and Economic Development Director, filing of an official application and required materials supporting the amendment, submittal of a fee deposit, Planning Commission review and recommendations, and City Council review and final decision. The applicant shall have the right of appeal to City Council if the Planning Commission fails to approve.

Amendments may be initiated by the City Council or Planning Commission by majority vote. The City of El Monte shall notify the property owner(s) of any amendments initiated by the City Council or Planning Commission. All Planning Commission requested amendments shall be submitted and considered by the City Council and accepted for processing by a majority vote.

City staff may initiate an amendment by submitting the requested amendment to the Planning Commission for a vote. Only amendments accepted by a majority vote of the Planning Commission shall be submitted to the City Council for consideration.

## **5.9 Financing and Maintenance of Improvements**

### **5.9.1 Financing**

Improvements in the Specific Plan area would be privately and publicly financed. Sources of public funding that are applicable to the Specific Plan area may include, but are not limited to:

- U.S. Department of Housing and Urban Development (HUD)
  - Community Development Block Grant
  - Section 108
- Federal and State
  - Tax Credit Equity
  - New Market Tax Credits
  - Economic Development Administration Grant
  - Statewide Parks Program Proposition 68 (Community Park)
- California Department of Housing and Community Development (HCD)
  - Affordable Housing and Sustainable Communities
  - Multi-Family Housing Program
  - Infill Infrastructure Grant
- Los Angeles County
  - Affordable Housing Trust Fund
  - Federal American Rescue Plan Act
  - Capitalized Ground Lease
- City
  - Capitalized Ground Lease
  - State and Local Fiscal Recovery Funds-American Rescue Plan Act
  - City – HOME American Rescue Plan Program
  - Community Development Block Grant
  - Section 108

- Other Local Source
  - San Gabriel Valley Council of Governments Regional Housing Trust
  - San Gabriel & Lower Los Angeles Rivers & Mountains Conservancy Regionwide Grant Program (Community Park)
  - Safe Clean Water Program (Community Park)

These funds will also be used for public infrastructure improvements. Public improvements will be conditioned to be completed by the developer as appropriate by the City of El Monte. The developer will pay any applicable fees to the City or other applicable agencies, if required, for connection and/or capacity expansion fees (or other similar fees). The City of El Monte will ensure and the developer will install adequate facilities available to serve the development prior to issuance of an occupancy permit for any portion of the development. The developer will provide a fair share contribution to future traffic signals at the Ramona Boulevard/Durfee Avenue intersection.

Consistent with the City of El Monte’s requirements, the developer will be required to pay fees or contribute to public service facilities on a prorated share based on the development’s effect to public services. Confirmation that the development has met its fair share contribution to public services will be required prior to the issuance of a building permit or occupancy permit, as determined by the City’s Public Works and Utilities Director. The estimated development impact fees that the residential and mixed-use development would be required to pay are presented in **Table 5-1**.

Development in the Specific Plan area will pay a fair-share contribution towards future signalization of the Ramona Boulevard/Durfee Avenue intersection. Based on the Traffic Impact Study, the residential and mixed-use development’s fair share contribution based on peak hour vehicle volumes are 3.4 percent for the AM peak hour and 4.7 percent for the PM peak hour.

<b>TABLE 5-1: DEVELOPMENT IMPACT FEES</b>	
<b>Infrastructure</b>	<b>Fee</b>
Sewer	\$301,214.00
Storm Drain	\$151,226.00
Street	\$180,630.00
Traffic	\$20,179.80
Quimby	\$2,610,244.00
Tech Enhancement	\$13,646.39
<b>Total</b>	<b>\$7,234,610</b>

**5.9.2 Maintenance**

Maintenance will be performed by the following entities:

- Open space, private driveways, landscaping, and all other areas within the Residential, Mixed-Use, and Circulation/Common Area Subareas, as well as landscaped parkways along the public right-of-way, will be maintained by the formation of a joint Tenants and Owners Association governed through the approval of Declaration of CC&Rs.
- Development on the County-related Subarea will be maintained by Los Angeles County.
- Community Park will be maintained by the City of El Monte.

- Kerrwood Street and Durfee Avenue will be accepted for public dedication and will be maintained by the City of El Monte.
- Storm drains will be maintained by the Los Angeles County Flood Control District.
- Water facilities will be maintained by the San Gabriel Valley Water Company.
- Sewer facilities will be maintained by the City of El Monte.

## APPENDIX A

### GENERAL PLAN CONSISTENCY

The Esperanza Village Specific Plan has been prepared in conformance with the goals and policies of the City of El Monte General Plan in accordance with the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65440-65457).

The following table demonstrates that the Esperanza Village Specific Plan implements the applicable goals and policies of the General Plan.

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
Community Design Element	
<p><b>Policy CD-1.7: Identity.</b> Support the creation of highly differentiated identities for residential, commercial, and industrial areas that support the eclectic physical environment of the community.</p>	<p><b>Consistent.</b> All development in the Specific Plan area would be designed to complement and be compatible with the surrounding neighborhood. The residential and mixed-use development would be designed to be consistent with the Spanish Modern style.</p>
<p><b>Goal CD-3:</b> A green City with beautifully landscaped corridors, residential streets, commercial areas, developments, and public areas that are symbolically and physically encircled by an Emerald Necklace of parks and open space.</p>	<p><b>Consistent.</b> Street trees and landscaping would be provided along the parkways on Gilman Road, Kerrwood Street, and Durfee Avenue; within the surface parking lots; in the courtyards; and roof decks. Trees, shrubs, and groundcovers would also be provided in these areas. Landscaping would be continuously maintained.</p>
<p><b>Policy CD-3.8: Private Developments.</b> Require new residential developments, both single and multiple-family housing, to beautify properties with ample greenery and provide for continued maintenance.</p>	
<p><b>Goal CD-4:</b> High-quality architectural design of residential, commercial, and industrial buildings evidenced by thoughtful attention and balance of quality materials, durability, aesthetics, functionality, and sustainability concepts.</p>	<p><b>Consistent.</b> High-quality architectural design of buildings would be provided in the Specific Plan area. Development would use building materials that are high in quality, durable, functional, and sustainable. Materials to be used include stucco and plaster with a smooth finish, brick veneer, terra cotta roof tiles, metal balcony rails, vinyl window frames, dual pane windows with low-E coating, prefabricated millwork, and wood trellis.</p>
<p><b>Policy CD-4.1: Building Materials.</b> Use high-quality, natural building materials, such as stucco, plaster, stone, and wood surfaces for residential structures, and clean, distinctive materials for nonresidential uses.</p>	
<p><b>Policy CD-4.2: Building Scale.</b> Reduce the bulk and perceived size of larger buildings by dividing their mass into smaller parts, stepping down to adjacent structures, and using pedestrian-scale features.</p>	
	<p><b>Consistent.</b> The massing of the residential structures would be broken up into a series of separate buildings and would modulate in height, scale, and proportion. The residential buildings would provide recessed volumes in the form of courtyards to provide architectural interest and to reduce the scale of the buildings. Roof decks would be located on Durfee Avenue and Gilman Road, which would allow the buildings to step back further from the surrounding residential structures. The surface parking lots, mixed-use building, and roof decks on the residential structures would allow the structures in the Specific Plan area to transition to a taller height. Pedestrian-scale features would be provided at the ground level.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<b>Policy CD-4.3: Massing.</b> Discourage single-plane massing by incorporating a variety of rooflines, articulated wall planes, and multiple forward and recessed walls.	<b>Consistent.</b> A variety of rooflines would be provided to reduce the building scale. The walls would be articulated to break up large expanses of uninterrupted building surfaces.
<b>Policy CD-4.4: Architectural Detail.</b> Ensure all sides of a building contain a high level of architectural detail and façade articulation, strong patterns of shade and shadow, and integrated architectural detail.	<b>Consistent.</b> All sides of the structures in the Specific Plan area would contain architectural detail and façade articulation that break up the building wall surfaces and provide patterns of shade and shadow.
<b>Policy CD-4.5: Sustainability.</b> Encourage “green building” and environmentally sustainable design concepts with respect to energy conservation, water conservation, storm drainage, etc.	<b>Consistent.</b> Development in the Specific Plan area would incorporate sustainable elements, such as windows with low-E coating, high efficacy light sources, PV solar carports, roof-mounted solar PV systems, reduced fixture flow rates for plumbing fixtures and fittings, drought-tolerant landscaping, and automatic irrigation system controllers that use weather-based or soil moisture-based controllers. Development in the Specific Plan area would comply with the California Green Building Standards Code, which requires new buildings to reduce water consumption, employ building commissioning to increase building system efficiencies for large buildings, divert construction waste from landfills, and install low pollutant-emitting finish materials. Development in the Specific Plan area would also implement LID strategies to mimic predevelopment hydrology through infiltration, evapotranspiration, and rainfall harvest. Drought-tolerant plants would be used for landscaping.
<b>Policy CD-4.6: Rooflines.</b> Require rooflines of varied elevations and finished and refined terminations (e.g., cornice, pediment, etc.) suited to the use of the building.	<b>Consistent.</b> A variety of rooflines would be provided. A mix of pitched, gabled, hip, and flat roof forms and overhangs are proposed. The roofs would be designed to be suited to the use of the proposed buildings.
<b>Policy CD-4.7: Landscaping.</b> Require lush and well-maintained landscaping appropriate the structure and its use and context in a manner that meets community expectations for quality.	<b>Consistent.</b> Development in the Specific Plan area would provide lush and well-maintained landscaping appropriate to the uses that would be developed in the Specific Plan area. Landscaping would be maintained during project operations. A mix of trees, shrubs, and/or ground covers would be provided within the surface parking lots, in the courtyards, roof decks, and around the proposed buildings. Street trees would be provided on the parkways on Gilman Road, Kerrwood Street, and Durfee Avenue.
<b>Policy CD-4.8: Parking and Garages.</b> Parking and garages should be designed to fulfill their function without detracting from the aesthetic quality of the building face viewed by the public.	<b>Consistent.</b> Landscaping will be provided to soften the views of the surface parking areas from the street and nearby residential properties.
<b>Policy CD-4.9: Utilitarian Aspects.</b> Mechanical equipment, electrical boxes, fencing, and other utilitarian aspects should be shielded so as not to detract from the aesthetic quality of the building or site.	<b>Consistent.</b> All mechanical equipment, electrical boxes, and other utilitarian aspects would be screened from the public rights-of-way.

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<p><b>Goal CD-9:</b> Quality neighborhoods evidenced by distinct identities; focal points that provide recreation and social opportunities; attractive streetscapes that accommodate autos, pedestrians, and cyclists; and attractive and well-designed residential projects that improve property values.</p>	<p><b>Consistent.</b> The Community Park would provide recreational and social opportunities for residents in the Specific Plan area and the surrounding neighborhood. The residential and mixed-use development would have courtyards and a common open space area that provide recreation and social opportunities for residents, employees, and visitors. Parkways would be landscaped with street trees and groundcovers. Sidewalks would range from 4-foot 10-inch to 6-foot wide to accommodate pedestrians.</p>
<p><b>Policy CD-9.3: Neighborhood Scale.</b> Apply different development and design standards based on community expectations and desires for different neighborhoods. Consider:</p> <ul style="list-style-type: none"> <li>• In stable residential neighborhoods where single-family homes predominate, the existing scale of housing should be preserved.</li> <li>• Follow policies to reduce the perceived scale and impact of two-story homes on adjoining one-story homes.</li> <li>• In neighborhoods of mostly multi-family housing, encourage lot consolidation to foster more creative planning solutions.</li> <li>• In areas with unique features (e.g., equestrian or historic areas), consider overlay zones to allow discretionary review.</li> </ul>	<p><b>Consistent.</b> See Policy CD-4.2.</p>
<p><b>Policy CD-9.8: Multiple-Family Housing.</b> Require that new multi-family residential projects be designed to convey a high level of visual and physical quality and distinctive neighborhood character in consideration of the following principles:</p> <ul style="list-style-type: none"> <li>• Architectural treatment of building elevations and modulation of mass to convey the character of separate units, avoiding the sense of a singular building mass and volume.</li> <li>• Design of parking areas that blend with the architecture of residential structures style, materials, colors, and forms.</li> <li>• Incorporation of usable and functional private open space for each unit and common open space that creates a pleasant living environment and attractive locations for recreation.</li> <li>• Reduce the visual impact of parking through consolidated parking, shared driveways, lane-accessed designs, landscape buffers, and other techniques.</li> <li>• Incorporation of substantial, lush landscaping that softens the hardscape, presents an attractive street image, and provides for a high-quality living experience.</li> </ul>	<p><b>Consistent.</b> See Policy CD-4.2. Common open space (i.e., courtyards and ground-level open space areas) would include amenities for recreational activities and communal gatherings (e.g., flex lawns, flexible dining areas to allow for community dining, and play structures).</p> <p>The surface parking areas would incorporate landscaping (trees, shrubs, and groundcovers). Surface parking areas would be landscaped to soften the views of the parking lots. Landscaping would be designed to blend with the architectural style of the proposed buildings. The residential and mixed-use development would share driveways. Landscaping would be provided throughout the Specific Plan area and along the parkways on Durfee Avenue, Kerrwood Street, and Gilman Road to soften the hardscape.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<p><b>Policy CD-9.9: Mixed-Use Projects.</b> Require that mixed-use projects convey a high level of visual and physical quality and distinctive neighborhood character in consideration of the following principles:</p> <ul style="list-style-type: none"> <li>• Architectural treatment of building elevations and modulation of mass to convey the character of separate units, avoiding the sense of a singular building mass and volume.</li> <li>• Design of parking areas that blend with residential portions of the structures style, materials, colors, and forms.</li> <li>• Incorporation of usable and functional private open space for each unit and common open space that creates a pleasant living environment and attractive locations for recreation.</li> <li>• Reduction of the visual impact of parking through consolidated parking, shared driveways, lane-accessed designs, landscapes buffers, and other techniques.</li> <li>• Incorporation of substantial, lush landscaping that softens the hardscape, presents an attractive street image, and provides for a high-quality living experience.</li> <li>• Design flexibility in mixed/multi-use development by allowing both vertical and horizontal uses at a variety of scales and heights.</li> <li>• Shared parking for residential, commercial, office, and transit uses to facilitate greater flexibility in site planning.</li> <li>• Ensure mixed/multi-use developments are compatible with adjacent uses through project design, scale, and appropriate buffers and transitions between uses. Taller projects should step down heights as they approach adjacent development.</li> <li>• Where a vertical mix of uses occurs, site retail/office uses on the ground floor, with residential and/or office uses above, and require architectural detailing that differentiates uses.</li> <li>• Minimize the visual impact of surface parking by providing berms and landscape buffering, and/or locating parking lots behind, to the side of, or below buildings.</li> <li>• In multi-use development, locate retail and commercial development close to the street for higher visibility and residential uses behind for convenience and privacy.</li> <li>• Incorporate different architectural styles, a variety of rooflines, wall articulation, balconies, window treatments, and varied colors and quality materials on all elevations.</li> </ul>	<p><b>Consistent.</b> See Policies CD-4.2 and CD-9.8. The proposed non-residential parking spaces would be shared among users of Building 3. The surface parking lot in the County Subarea would be shared between users of the adjacent Community Park and users of the residential and non-residential mixed-use buildings in the Specific Plan area.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
Land Use Element	
<p><b>Goal LU-1:</b> Compatible residential, commercial, and industrial development that is sensitively integrated with existing development and neighborhoods and minimizes impacts on surrounding land uses.</p>	<p><b>Consistent.</b> The Specific Plan includes residential, mixed-use, and County-related uses that would be designed to be compatible with the surrounding residential neighborhood. Development in the Specific Plan area would incorporate features to minimize effects on the surrounding land uses, such as the provision of an enhanced pedestrian crossing on Gilman Road at Twin Lakes Elementary School and other potential traffic calming measures. Massing of the residential buildings would be broken up into a series of separate buildings. The overall massing would modulate in height, scale, and proportion, allowing the buildings in the Specific Plan area to transition from the surrounding one- and two-story residential buildings.</p>
<p><b>Policy LU-1.1: Code Compliance.</b> Ensure land use compatibility through adherence to the policies, standards, and regulations in the Municipal Code, Development Code, Community Design Element, and other regulations or administrative procedures.</p>	<p><b>Consistent.</b> Development in the Specific Plan area would comply with all applicable EMMC sections. Development of the Community Park and efforts would be made to comply with City of El Monte’s regulations. The Specific Plan includes standards that would sensitively integrate the development with the surrounding residential neighborhood to ensure that development would be compatible with the surrounding neighborhood.</p>
<p><b>Policy LU-1.2: Mitigation.</b> Require new uses to provide buffers between existing uses where potential adverse impacts could occur, such as decorative walls, setbacks and landscaping, restricted vehicular access, parking enclosures, and lighting control.</p>	<p><b>Consistent.</b> The Specific Plan requires buildings to be set back a minimum of 70 feet if the building is adjacent to a residential zoning district. Five (5)-foot wide landscape buffers are required to be placed along the property line that adjoins a residential zoning district. A solid six (6)-foot tall slumpstone or masonry wall is required to be installed and maintained adjacent to the property line that adjoins a residential zoning district, except within 20 feet of a public right-of-way.</p> <p>The landscaped surface parking lot on the southern portion of the Specific Plan area, community park, and surface parking lot in the County Subarea allow structures in the Specific Plan area to be set back further from the adjacent residential properties. Roof decks on Buildings 1 and 2 would be provided along Durfee Avenue and Gilman Road, which would also allow the buildings to step back further from the surrounding residential structures to reduce the building scale and to allow the proposed buildings to transition to a taller height. Roof decks would be designed and oriented in a manner that would maintain the privacy of the surrounding residences.</p>
<p><b>Policy LU-1.6: Quality of Life.</b> Prioritize protection of quality of life so that it takes precedence during the review of new projects. Accordingly, the City shall use its discretion to deny or require mitigation of projects that result in impacts that outweigh public benefits.</p>	<p><b>Consistent.</b> The quality of life of the residents in the neighborhood is considered when developing the requirements for the Specific Plan and when designing the development in the Specific Plan area. Residents’ concerns were taken into account when designing and establishing requirements for the Specific Plan.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<p><b>Goal LU-2:</b> Revitalization and redevelopment of residential, commercial, and industrial areas through the sensitive integration of infill development, elimination of blight, and master planning efforts.</p>	<p><b>Consistent.</b> Development occurring in the Specific Plan area would be infill development that provide residential and a mix of community-serving and County-related uses on an underutilized property. Development would be designed to integrate with the surrounding neighborhood while providing uses that serve community needs. The Specific Plan includes development standards and design guidelines to ensure that development would be compatible and integrate with the neighborhood.</p>
<p><b>Policy LU-2.4: Planning Tools.</b> Utilize specific plans, planned development and specialized zoning districts to foster cohesive and well-designed residential, mixed-use, commercial, and industrial districts. This can be applied to large vacant lands or for the reuse of existing properties or for a district/subdistrict.</p>	<p><b>Consistent.</b> The Specific Plan would be implemented on an existing underutilized property to ensure that the development would be compatible and integrate with the surrounding neighborhood. The Specific Plan includes development standards and guidelines that foster a cohesive and well-designed residential and mixed-use development.</p>
<p><b>Policy LU-3.3: Green Infrastructure.</b> Utilize landscaping, trees, parkways, paths, and equestrian trails, such as the Emerald Necklace, to define and enhance the identity of places, create a pedestrian-friendly environment, and link the various districts throughout El Monte.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would provide landscaped parkways and street trees along Gilman Road, Kerrwood Street, and Durfee Avenue, as well as along the street yard setbacks. Landscaping would also be placed around the proposed buildings. The landscaping would create a pedestrian-friendly environment. The Specific Plan requires that landscaping is compatible with the architecture style of the development to enhance the identity of the Specific Plan area.</p>
<p><b>Policy LU-3.5: Identity.</b> Develop a cohesive theme for the entire community and subthemes for individual residential neighborhoods and districts to foster identity, create a sense of community, and add to the City's eclectic image.</p>	<p><b>Consistent.</b> The residential and mixed-use development associated with the Specific Plan, including building elements and landscaping, would be designed to be consistent with the Spanish Modern style of architecture. By providing architectural characteristics that complement each other, development associated with the Specific Plan would have a cohesive identity.</p>
<p><b>Goal LU-4:</b> A complementary balance of land uses that provide adequate opportunities for housing, economic activity, transportation, parks, and recreation to support an exemplary quality of life and a sustainable community.</p>	<p><b>Consistent.</b> The Specific Plan permits a mix of residential, community-serving (vocational training school, medical clinic, and senior care center), park, and County-related uses that serve the needs of the community. The community-serving and County-related uses will provide for new permanent high paying jobs. Common open space areas with amenities that encourage communal gatherings would be provided. The Specific Plan would permit uses that would complement and provide opportunities for housing, services, job creation, parks, and recreation.</p>
<p><b>Policy LU-4.1: Housing Opportunities.</b> Support a range of types and prices of housing available to all economic segments of the community, in appropriate locations to meet present and future needs, consistent with the goals and policies in the Housing Element.</p>	<p><b>Consistent.</b> The residential development in the Specific Plan area would have 102 residential units affordable to low- and extremely low-income persons and families and 100 residential units affordable to seniors. These housing units would meet the housing needs of the community and would be consistent with the goals and policies of the City of El Monte's General Plan Housing Element.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<p><b>Policy LU-4.2: Neighborhoods.</b> Develop strong residential neighborhoods that are distinguished by distinct architecture, parks and open space, public facilities and services, and public involvement in their planning and improvement.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would include building elements, open space areas, and landscaping that would be designed to complement, be compatible with, and integrate with the structures in the Specific Plan area and the surrounding neighborhood. The Specific Plan permits a mix of community-serving facilities, government facilities and related facilities, and a community park that serves the needs of the residents in the Specific Plan area and in the surrounding community. Community input during the community outreach process were integrated into the planning for development in the Specific Plan area.</p>
<p><b>Policy LU-4.5: Balanced Growth.</b> Direct land uses and community growth in a manner that is consistent with community-wide goals and is consistent with the vision of the General Plan.</p>	<p><b>Consistent.</b> The Specific Plan would provide residential and a mix of community-serving and County-related uses, as well as other elements (such as traffic calming elements), that serve the needs of the community and would be consistent with the vision of the City’s General Plan, which include a City where people can easily and safely access community facilities and services, promoting connections with the natural environment, fostering healthy lifestyles, and preserving and enhancing neighborhoods.</p>
<p><b>Policy LU-4.7: Transportation.</b> Require that new development provide adequate mitigation for negative traffic or mobility impacts, unless the project is found to have overriding public benefits.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would comply with the recommendations identified in the Traffic Impact Analysis. The recommendations include providing a fair share financial contribution toward future signalization of the Durfee Avenue and Ramona Boulevard intersection and conducting a local neighborhood study to define traffic-calming measures that would be implemented before operations of the residential and mixed-use component of the Specific Plan.</p>
<p><b>Policy LU-9.5: Bicycle Lanes/Walkways.</b> Create a Class 2 bicycle lane along Durfee Road, from the south City limits to Ramona to provide an exclusive or semi-exclusive use of bicycles; also line the street with complete sidewalks to encourage pedestrian activity.</p>	<p><b>Consistent.</b> The Specific Plan supports this policy by providing sidewalks with landscaped parkways and street trees. An enhanced pedestrian crossing is also proposed on Gilman Road at Twin Lakes Elementary School. Existing Class 2 bicycle lanes are located adjacent to the Specific Plan area along Durfee Road.</p>
<p><b>Policy LU-9.7: Housing Design.</b> In concert with expectations for architecture in the Community Design Element and corridor implementation plans, require excellence in residential architecture design and construction practices exemplified by the following principles:</p> <ul style="list-style-type: none"> <li>• <b>Materials.</b> Use high-quality, natural building materials, such as stucco, plaster, stone, and wood surfaces. Prohibit reflective glass, glossy surfaces, or poor imitation materials.</li> <li>• <b>Durability.</b> Materials and design should evidence high attention to durability (without sacrificing aesthetics) that will withstand weather, use, and the test of time.</li> <li>• <b>Aesthetics.</b> Structural appearance should incorporate thoughtful design in rooflines, facades, entryways, building orientation, and site layout.</li> </ul>	<p><b>Consistent.</b> See Goal CD-4 and Policies CD-4.2 and CD-4.5. The Specific Plan design guidelines encourage the use of high-quality materials that last over time and are consistent with the architectural style of development. The Specific Plan also includes standards and design guidelines that promote sustainability.</p> <p>Residential buildings would be designed to fulfill the functional needs of housing. Residential parking would be provided at the surface parking areas in the Circulation/Common Area and County Subareas. Roof decks, courtyards, and ground-level open space areas would serve the residents and visitors of the Specific Plan area.</p> <p>Various sustainable features will be incorporated into the development in the Specific Plan area, including the use of rooftop solar panels, solar carports, drought-tolerant plants, artificial turf, permeable pavers, decomposed granite, and recycled water for water features.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<ul style="list-style-type: none"> <li>• Functionality. Residential buildings must be designed in a manner to fulfill the functional needs of housing, including size of units, parking needs, and other accommodations.</li> <li>• Sustainability. Incorporate green building techniques, energy efficiency, and other sustainable building technologies into new housing balanced with the overriding need for aesthetics.</li> </ul>	
<p><b>Policy LU-9.19: Green Parkways.</b> Line corridors with green parkways and/or lush landscaped medians, shade-providing canopy trees, and complete sidewalks, wherever possible, to improve the streetscape, add value to properties, and beautify the corridors.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would include landscaped parkways on Durfee Avenue, Kerrwood Street, and Gilman Road. Landscaping would consist of ground covers, shrubs, and street trees. An enhanced pedestrian crossing is proposed on Gilman Road at Twin Lakes Elementary School.</p>
Housing Element	
<p><b>Goal 1:</b> Sustainable neighborhoods evidenced by quality housing conditions, ample community services, exemplary public safety and security, quality public facilities and infrastructure, and civic pride.</p>	<p><b>Consistent.</b> Uses that will be permitted by the Specific Plan include residential, community-serving, and County-related uses. The Specific Plan includes an Infrastructure Plan that identifies the public facilities and infrastructures that would be provided to ensure that development in the Specific Plan area supports the anticipated development with essential utilities and services as efficiently as possible.</p> <p>The Specific Plan design guidelines encourage the use of high-quality materials that last over time and are consistent with the architectural style of development. The Specific Plan also includes standards and design guidelines that promote sustainability.</p> <p>The residential component of the Specific Plan would develop residential units that are affordable to low- and extremely low-income individuals, families, and seniors while providing a mix of community-serving and County-related facilities (vocational training school, medical clinic, and senior care center) to future residents in the Specific Plan area and residents in the surrounding community.</p> <p>Development in the Specific Plan area would use building materials that are high in quality and would incorporate features that would improve safety and security of the property. Existing infrastructure that serves the Specific Plan area would be upgraded.</p>
<p><b>Policy H-1.3: Community Amenities.</b> Require adequate provision of public services and facilities, infrastructure, open space, adequate parking and traffic management, pedestrian and bicycle routes, and public safety to create highly desirable neighborhoods.</p>	<p><b>Consistent.</b> The Specific Plan includes an Infrastructure Plan that identifies the public facilities and infrastructures that would be provided to ensure that development in the Specific Plan area supports the anticipated development with essential utilities and services as efficiently as possible.</p> <p>The Specific Plan requires residential and non-residential development to provide public and common open space.</p> <p>The County Subarea would have joint-use parking that would be shared by the Community Park, residences, community-serving, and County-related uses in the Specific Plan area. Traffic calming measures would be provided along Durfee Avenue and Gilman Road.</p>

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<p><b>Policy H-2.1: Housing Sites.</b> Provide adequate sites through land use, zoning, and specific plan designations to allow single-family homes, multi-family homes, Accessory Dwelling Units, urban housing, mixed-use housing, mobile homes, and special needs housing.</p>	<p><b>Consistent.</b> The Specific Plan involves the development of 202 residential units. The housing units would be affordable to low-income individuals/households and seniors. The Esperanza Village Specific Plan provides land use and development standards for the design and development of the Specific Plan area, and would supplement other applicable regulations in the City’s Zoning Code.</p>
<p><b>Policy H-2.5: Major Corridors.</b> Direct the production of quality mixed/multi-use projects along major corridors (Durfee Road, Peck Road, and Garvey Avenue) to allow for efficient land use practices, improved mobility, and energy conservation.</p>	<p><b>Consistent.</b> The Specific Plan involves developing a mix of residential, community-serving, and County-related uses on Durfee Avenue.</p>
<p><b>Policy H-2.7: Neighborhood Amenities.</b> Require new residential projects to be adequately served by parks and recreation services, libraries, sanitary sewers and storm drains, transportation, public safety, and other public services and facilities.</p>	<p><b>Consistent.</b> Residential development in the Specific Plan area would be located adjacent to the Community Park. Direct access to the park from the residential development would be provided via a gate northeast of Building 2. Residential access to the park would also be available on Gilman Road. The residential development associated with the Specific Plan would have courtyards and roof decks that are shared among the residents. A public open space area would be provided on Durfee Avenue that would be open to residents, visitors, and users of the development, as well as the general public. The Specific Plan includes an Infrastructure Plan that identifies the public facilities and infrastructures that would be provided to ensure that development in the Specific Plan area supports the anticipated development with essential utilities and services as efficiently as possible.</p>
<p><b>Policy H-2.11: Architectural Design.</b> Require architectural excellence through the exemplary use of materials, color, site planning, environmentally sustainable practices, building treatments, landscaping, and other best practices in concert with community expectations for quality.</p>	<p><b>Consistent.</b> See Goal CD-4 and Policy CD-4.5. The purpose of the Specific Plan development standards and design guidelines is to provide high quality development within the Subject Property in conjunction with the El Monte Municipal Code. The design guidelines recommend that building massing transition from the surrounding one- and two-story buildings. Drought-tolerant landscaping that complements the architectural style of development in the Specific Plan area would also be installed.</p>
<p><b>Goal 3:</b> A diversity of quality housing types and prices that meet the needs of residents, support the economic development and revitalization, and provide opportunities for residents of all ages and income levels.</p>	<p><b>Consistent.</b> See Goal 1 and Policy H-2.1. Residential development associated with the Specific Plan would have 202 affordable residential units on a site that is underutilized. The Specific Plan also includes the development of a mix of community-serving and County-related uses (vocational school, senior care center, and medical clinic) that support and are accessible to the residents living in the Specific Plan area and the surrounding neighborhood.</p>
<p><b>Policy H-3.6: Partnership.</b> Support collaborative partnerships of nonprofit organizations, affordable housing developers, major employers, and others to provide affordable workforce housing, senior housing, and other housing types suited to lifestyle needs.</p>	<p><b>Consistent.</b> The City and the County are working with a nonprofit affordable housing developer to provide affordable housing to low- and extremely low-income individuals, families, and seniors in the Specific Plan area. Development of the community-serving and County-related mixed-use building includes plans to partner with local community colleges for vocational training and other community-based organizations to provide wraparound supportive services.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<b>Policy H-3.7: Diverse Housing.</b> Support the production of varied housing types, including single-family, townhomes, apartments, and special needs housing that are priced at levels affordable to all income levels.	<b>Consistent.</b> The Specific Plan supports this policy by providing 202 apartment units that are affordable to low- and extremely low-income individuals/households and seniors.
<b>Policy H-3.9: Development Standards.</b> Provide zoning, development standards and appropriate regulatory incentives to facilitate quality live-work, mixed use, and other housing suited to different lifestyle needs.	<b>Consistent.</b> The Esperanza Village Specific Plan provides land use and development standards to ensure quality development of the residential and non-residential uses and all future development in the Specific Plan area.
<b>Goal 4:</b> Adequate rental, homeownership, and supportive services to individuals, families, and those with special needs that will help them find and maintain affordable housing in the community.	<b>Consistent.</b> See Policy H-3.7.
<b>Policy H-4.1: Senior and Disabled Housing.</b> Support development of accessible and affordable housing for seniors and disabled people; provide assistance for seniors and people with a disability to maintain and improve their homes to facilitate independent living.	<b>Consistent.</b> The Specific Plan involves the development of 202 affordable housing units, of which 100 units would be allocated to seniors. A senior care facility is also proposed to provide services to seniors living in the Specific Plan area and the surrounding neighborhood.
<b>Policy H-4.2: Family Housing.</b> Facilitate and encourage the development of larger market rate rental and ownership units suitable for families with children, including lower and moderate-income families, and the provision of supportive services such as childcare.	<b>Consistent.</b> The Specific Plan would support this policy as it involved the development of 102 residential units that are affordable to low- and extremely low-income households/families. Supportive services, such as a medical clinic, would be provided to serve the needs of residents living in the Specific Plan area.
<b>Policy H-4.4: Homeless People.</b> Support adequate opportunities for emergency, transitional, and permanent supportive housing, including services, within El Monte through the implementation of land use and zoning practices and monitoring through permitting procedures.	<b>Consistent.</b> The Specific Plan involves the development of 202 housing units that would be affordable to low- and extremely low-income individuals, families and seniors. Supportive services, such as a vocational school, medical clinic, and senior care center, would be provided. The Esperanza Village Specific Plan includes development standards that support these opportunities.
<b>Policy H-4.6: Affordable Housing Preservation.</b> Preserve existing publicly subsidized affordable housing and expand quality and affordable rental housing opportunities for families, with housing linked to quality childcare, health, and other services.	<b>Consistent.</b> The Specific Plan would support this policy by expanding the quality and number of affordable rental housing opportunities available to low- and extremely low-income families. Services that would support residents living in the Specific Plan area would also be provided. These services include a medical clinic, senior care center, and a vocational school.
<b>Parks and Recreation Element</b>	
<b>Policy PR-2.1: Access to Recreation Programs.</b> Ensure residents have equal opportunities to participate in recreational activities and programs regardless of their age, economic status, disability, or other arbitrary factors.	<b>Consistent.</b> The Specific Plan would support this policy as it would provide a pedestrian gate from the Community Park to the residential and mixed-use development portion of the Specific Plan area to allow residents direct access to the park. The County Subarea would have a surface parking lot that allows for joint-use parking with the Community Park, residential uses, community-serving facilities, and County-related uses in the Specific Plan area. This parking lot in the County Subarea would include a pick-up/drop-off area for users of the park. These elements would allow future
<b>Policy PR-2.8: Access to Recreational Facilities.</b> Enhance options for residents to access community centers and other recreational facilities through transit, safe routes, bicycle routes, and walking paths.	

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<p><b>Goal PR-5:</b> A comprehensive system of walking, hiking, biking, and equestrian paths and trails that are accessible, safe, and connect to homes, residences, parks, and other community destinations.</p>	<p>residents in the Specific Plan area and existing residents in the surrounding neighborhood to have access to recreational areas. Sidewalks and landscaped parkways would be provided along Durfee Avenue, Kerrwood Avenue, and Gilman Road. Existing bicycle lanes on Durfee Avenue and Ramona Boulevard allows future residents on the MacLaren Hall property connect to the San Gabriel River Trail by bicycling.</p>
Circulation Element	
<p><b>Policy C-2.2: Roadway Performance Standards.</b> The City desires to maintain a level of service (LOS) D throughout the City, except that LOS E may occur in the following circumstances:</p> <ul style="list-style-type: none"> <li>• Intersections/roadways at, or adjacent to, freeway ramps</li> <li>• Intersections/roadways on major corridors and transit routes</li> <li>• Intersections/roadways on truck routes</li> <li>• Intersections/roadways in or adjacent to commercial districts</li> </ul> <p>These standards may require, but are not intended to mandate, roadway and/or intersection widening. They are a policy goal and shall be used to monitor traffic conditions to assess the impacts of new development. As LOS standards apply only to vehicles and do not account for walkability or other modes, they shall not be the sole criteria for judging transportation system performance. Pedestrian walkability and convenience, livability, transit access, operability, and aesthetics shall also be performance criteria.</p>	<p><b>Consistent.</b> The traffic impact analysis showed that development associated with the Specific Plan would maintain an LOS of A or B at three of the four analyzed intersections during “Existing with Project” and “Future with Project” conditions. LOS at Durfee Avenue/Ramona Boulevard intersection, however, would worsen from LOS D under “Existing” conditions to LOS E under “Existing with Project” conditions. This intersection would worsen from LOS E under “Future without Project” conditions to LOS F under “Future with Project” conditions. Durfee Avenue and Ramona Boulevard are major corridors with transit routes. The increased delay is at the stop-sign controlled approach of Durfee Avenue at this location. According to the traffic impact analysis, development associated with the Specific Plan would not cause the traffic signal warrant to be met and a fair-share financial contribution by the proposed project toward future signalization of the intersection is recommended. Development associated with the Specific Plan would contribute to the fair-share financial contribution. Additionally, the Specific Plan includes elements that would enhance the walkability of the neighborhood by incorporating street trees and landscaping along the parkways. Development associated with the Specific Plan would include traffic calming measures along Durfee Avenue and Gilman Road.</p>
<p><b>Policy C-2.5: Context-Sensitive Street Standards.</b> Design and operate streets and intersections to be sensitive to adjacent land uses and districts and to all roadway users, including transit, bicycles, and pedestrians, where appropriate.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would installing traffic calming measures along Gilman Road and/or Durfee Avenue. An enhanced pedestrian crossing would be installed on Gilman Road at Twin Lakes Elementary School.</p>
<p><b>Policy C-3.2: Traffic Flow Management.</b> Manage traffic flow on roadways for appropriate vehicle speeds, calm traffic in the City, and protect neighborhoods from traffic intrusion. Apply appropriate techniques to control the volume and speed of traffic consistent with land use policy, sensitive uses, and other concerns.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would provide traffic calming measures along Durfee Avenue and Gilman Road.</p>
<p><b>Goal C-5:</b> A connected, balanced, and integrated system of walking, biking, and equestrian paths and trails that is accessible and safe and connect to homes, residences, parks, and other community destinations.</p>	<p><b>Consistent.</b> The Specific Plan includes elements that would enhance the walkability of the neighborhood by incorporating street trees and landscaping along the parkways. Existing Class II bike lanes are located along Durfee Avenue, adjacent to the Specific Plan area.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<p><b>Policy C-6.4: Parking Supply.</b> Require residential, commercial, industrial, and other land uses in the community to provide adequate on-site parking for their respective uses; allow for joint-use parking provided the parking needs of individual uses are satisfied.</p>	<p><b>Consistent.</b> The Specific Plan includes parking requirements to ensure that sufficient parking spaces would be provided for development in the Specific Plan area. The County Subarea would have joint-use parking that would be shared by the residences, community-serving uses, County-related uses, and the Community Park in the Specific Plan area. Reciprocal access and reciprocal parking easements will be provided for all subareas.</p>
<p><b>Policy C-6.6: Project Mitigation.</b> Require appropriate mitigation measures to be implemented by projects that have a significant or potentially significant impact on the transportation network.</p>	<p><b>Consistent.</b> The traffic impact analysis for development associated with the Specific Plan does not identify any significant or potentially significant impacts on vehicle miles traveled (VMT). LOS at the Durfee Avenue/Ramona Boulevard intersection would worsen from LOS D under "Existing" conditions to E under "Existing with Project" conditions, and from LOS E under "Future without Project" conditions to F under "Future with Project" conditions. The delay would occur at the stop-sign controlled approach of Durfee Avenue. However, the traffic impact analysis determined that development associated with the Specific Plan would not cause the traffic signal warrant to be met at Durfee Avenue and Ramona Boulevard. The residential and mixed-use development would be required to provide a fair-share financial contribution toward future signalization of the intersection.</p>
<b>Public Services and Facilities Element</b>	
<p><b>Policy PSF-3.3: Stormwater.</b> Continue to require and enforce the implementation of best management practices for existing public and private entities and new development to minimize stormwater runoff.</p>	<p><b>Consistent.</b> Development in the Specific Plan area would be required to implement best management practices, as required by the City, to minimize stormwater runoff and to conserve water.</p>
<p><b>Policy PSF-3.7: Water Conservation.</b> Require the incorporation of best management practices, where feasible, to conserve water in public landscaping, private development projects, and public agencies.</p>	
<p><b>Policy PSF-4.3: Fair Share.</b> Require development to pay the full cost of improving water, wastewater, road, parks, or other infrastructure necessitated by their projects, unless findings are made that the fair share requirement should be waived due to overriding public benefit.</p>	<p><b>Consistent.</b> Development in the Specific Plan area would be required to pay a fair share contribution to improve infrastructure that is necessitated by the proposed development. Off-site infrastructure would also be upgraded by development in the Specific Plan area, such as water improvements in Durfee Avenue.</p>
<p><b>Policy PSF-4.7: Specific Plans.</b> Require that specific plans contain comprehensive infrastructure master plans that detail infrastructure conditions and needs; prepare a financing plan to fund improvements and a cost-sharing arrangement for property owners to pay for infrastructure.</p>	<p><b>Consistent.</b> The Specific Plan includes an infrastructure plan and identifies the funds for infrastructure improvements.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<p><b>Goal PSF-5:</b> A comprehensive array of quality social and human services, educational opportunities, and cultural services that enrich the lives of El Monte children, youth, adults, and seniors.</p> <p><b>Policy PSF-5.7: Health Care.</b> Partner with local health service providers, public schools, community service groups, faith-based organizations, and other groups to promote healthy lifestyles and increase the quantity and quality of health care services to residents.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would include community-serving facilities, such as a vocational school, medical clinic, and senior care center, for future residents of the property and existing residents in the surrounding neighborhood.</p>
<p><b>Public Health and Safety Element</b></p>	
<p><b>Policy PHS-1.1: Building Codes.</b> Ensure that new and retrofitted buildings comply with the most recently adopted City and state building codes governing seismic safety and structural design to minimize the potential for damage, personal injury, and loss from earthquakes.</p>	<p><b>Consistent.</b> Development in the Specific Plan area would be required to comply with the most recently adopted City and state building codes governing seismic safety and structural design.</p>
<p><b>Policy PHS-1.2: Geotechnical Study.</b> As necessary, require detailed geologic, geotechnical, or soil investigations in areas of potential seismic or geologic hazards as part of the environmental and/or development review process.</p>	<p><b>Consistent.</b> Geotechnical studies prepared for development in the Specific Plan area would require City approval during the development review process. Soil investigation would also be required as part of the development review process.</p>
<p><b>Policy PHS-1.3: Structural Hazards.</b> Mitigate structural hazards related to seismic events through appropriate methods such as excavating and refilling land with engineered fill, ground improvements, structural design, and other appropriate mitigation.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would be required to implement the recommendations contained within the site-specific geotechnical studies, which would require the review and approval by the City. In addition, development associated with the Specific Plan would be required to comply with all applicable building codes and standards, including the CBC, which is designed to assure safe construction and includes building foundation requirements appropriate to site conditions</p>
<p><b>Policy PHS-2.2: Water Quality.</b> Improve in-stream water quality through best management practices to meet or exceed Regional Water Quality Control Board standards and National Pollutant Discharge Elimination Systems permitting requirements.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would be required to implement best management practices to meet Los Angeles Regional Water Quality Control Board standards and NPDES permitting requirements.</p>
<p><b>Goal PHS-3.</b> Clean and healthful air through the implementation of responsive land use practices, enhancement to the natural landscape, pollution reduction strategies, and cooperation with regional agencies.</p>	<p><b>Consistent.</b> Development associated with the Specific Plan would include community-serving facilities, County-related facilities, and residential units. The community-serving and County-related facilities would serve the residents of the Specific Plan area and the surrounding neighborhood, which would limit the amount of vehicle miles that the residents in the Specific Plan area and the surrounding neighborhood would have to take to access these facilities.</p>
<p><b>Policy PHS-3.3: Community Forest.</b> As prescribed in the Parks and Recreation Element, enhance the City’s community forest by planting trees along all roadways as a means to help filter air pollutants, clean the air, and provide other health benefits to the community.</p>	<p><b>Consistent.</b> The Specific Plan would support this policy by installing street trees along the parkways on Durfee Avenue, Kerrwood Street, and Gilman Road.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<b>Goal PHS-5:</b> A safe and healthy environment that minimizes the public health risks and threats posed by hazardous materials and wastes.	<b>Consistent.</b> The Specific Plan does not permit any industrial uses or activities that would result in the use or discharge of unregulated hazardous materials and waste. Development associated with the Specific Plan would comply with all applicable standards and regulations related to hazardous materials during construction and operational activities,
<b>Goal PHS-8:</b> Effective adaptation to increase the community’s resilience to climate change impacts.	<b>Consistent.</b> Development associated with the Specific Plan would incorporate sustainable features that would increase the development’s resilience to climate change. Sustainable features include the use of rooftop solar panels, solar carports, drought-tolerant plants, artificial turf, permeable paving, decomposed granite to capture stormwater, and recycled water for water features. Additionally, development would place residential units next to community-serving facilities, County-related facilities, and a community park. These facilities would serve the residents living in the Specific Plan area and the surrounding neighborhood. By placing residences in close proximity to community-serving facilities, County-related facilities, and a park, vehicle miles traveled would be reduced and thereby reduce the development’s effect on climate change.
<b>Policy PHS-8.9:</b> Build partnerships with public, private and nonprofit sectors to provide services to residents as needed, and foster community connections.	<b>Consistent.</b> The City of El Monte is working with a nonprofit developer and the County of Los Angeles to develop the Specific Plan area. The non-profit developer would develop the residential and mixed community-serving facilities, while the County of Los Angeles would develop the Community Park in the Community Park Subarea and surface parking lot in the County Subarea. The community-serving facilities, County-related uses, and community park would serve the residents living in the Specific Plan area and the surrounding neighborhood. Development of the non-residential mixed-use building includes plans to partner with local community colleges for vocational training and other community-based organizations to provide wraparound supportive services.
<b>Policy PHS-9.2: Land Use Compatibility.</b> Require the inclusion of noise reducing design features in development consistent with standards in PHS-1, Title 24 California Code of Regulations, and the El Monte Municipal Code.	<b>Consistent.</b> Development associated with the Specific Plan would include noise reducing design features to comply with the requirements of Title 24 of the California Code of Regulations and EMMC.
<b>Policy PHS-9.3: Site Planning.</b> Incorporate noise considerations into the site plan review process, particularly with regard to parking and loading areas, ingress/egress points and refuse collection areas.	<b>Consistent.</b> Noise was considered during the site plan review of the proposed process. As discussed in the Initial Study/Mitigated Negative Declaration and its Addendum, parking lot noise would not exceed the EMMC ambient noise standards. A majority of the trash areas would be located in the enclosed areas. The Specific Plan requires that loading area a minimum of 70 feet from a public street and residential zoning district, which would limit noise in the surrounding neighborhood.

TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS	
Goal/Policy	Consistency Analysis
<b>Health and Wellness Element</b>	
<p><b>Policy HW-3.1: Range of Housing.</b> Strive to eliminate concentrations of poverty by promoting a range of housing options integrated into mixed income neighborhoods.</p>	<p><b>Consistent.</b> The Specific Plan involves the development of 202 residential units that are affordable to low- and extremely low-income individuals, families and seniors in a neighborhood with a mix of single- and multi-family residential uses.</p>
<p><b>Policy HW-3.3: Landscape Improvements.</b> Make streets and other public spaces more visually appealing and environmentally friendly by planting street trees, improving landscaping, adding decorative street furniture, and regularly cleaning the sidewalks and streets.</p>	<p><b>Consistent.</b> street trees and other types of landscaping along the parkways would be installed on Gilman Road, Kerrwood Street, and Durfee Avenue.</p>
<p><b>Policy HW-4.3: Traffic-Calming.</b> Implement a traffic-calming program to reduce traffic speeds and encourage safe driving practices in neighborhoods and high-volume pedestrian areas throughout the City.</p>	<p><b>Consistent.</b> As a condition of approval, the applicant of the proposed residential and mixed-use development would be required to fund a local neighborhood study that includes public outreach to identify traffic-calming measures to be implemented on Gilman Road and Durfee Avenue prior to operations of the proposed development. An enhanced pedestrian crossing on Gilman Road at Twin Lakes Elementary School is also proposed as part of the development in the Specific Plan area.</p>
<p><b>Policy HW-5.5: Pedestrian Improvements.</b> Prioritize improvements to sidewalks and the pedestrian environment in the Downtown and areas around schools and parks.</p>	<p><b>Consistent.</b> The Specific Plan would support this policy by improving sidewalks adjacent to the Specific Plan area, which would improve the pedestrian environment around Twin Lakes Elementary School and the Community Park. An enhanced pedestrian crossing on Gilman Road at Twin Lakes Elementary School is proposed as part of the development in the Specific Plan area. The Specific Plan would provide sidewalks with landscaped parkways and street trees.</p>
<p><b>Policy HW-7.3: Traffic Calming.</b> Implement traffic calming strategies in areas immediately around schools and parks.</p>	<p><b>Consistent.</b> See Policy HW-4.3. Potential traffic-calming measures on Gilman Road and Durfee Avenue would be located immediately around Twin Lakes Elementary School and the Community Park.</p>
<p><b>Goal HW-12:</b> Land use patterns reduce driving, enhance air quality, and improve respiratory health.</p>	<p><b>Consistent.</b> The Specific Plan would support this goal by allowing development to provide community-serving facilities on the same property as residential units. The community-serving facilities would serve the residents in the Specific Plan area and the surrounding neighborhood, which would limit the amount of vehicle miles that the residents in the Specific Plan area and the surrounding neighborhood would have to take to access these facilities.</p>
<p><b>Policy HW-12.1: Walking, Cycling, and Transit Use.</b> Promote land use patterns that reduce driving rates and promote walking, cycling and transit use.</p>	<p>Development in the Specific Plan area would be adjacent to a community park, and bicycle lanes are located adjacent to the property along Durfee Avenue. Short-term and long-term bicycle storage would be provided in the Specific Plan area as required by EMMC Section 17.70.100. The Specific Plan area is located within walking distance of an El Monte Blue Line Trolley stop, which is approximately 135 feet northwest of the Specific Plan area.</p>

<b>TABLE A-1: GENERAL PLAN CONSISTENCY ANALYSIS</b>	
<b>Goal/Policy</b>	<b>Consistency Analysis</b>
<p><b>Policy HW-12.5: Air Pollution Mitigation.</b> Use landscaping, ventilation systems, double paned windows, or other mitigation measures to achieve healthy indoor air quality and noise levels in sensitive land uses.</p>	<p><b>Consistent.</b> Development in the Specific Plan area would incorporate features that would achieve healthy indoor air quality and noise levels in the residential units, such as dual pane windows.</p>
<p><b>Goal HW-13:</b> Convenient physical access to health care facilities for City residents and a wide range of healthcare, public health clinics, and mental health care facilities in and around El Monte.</p>	<p><b>Consistent.</b> The Specific Plan would support this policy by permitting development that provides a medical clinic and senior care center to serve future residents in the Specific Plan area and existing residents in the surrounding neighborhood. The Specific Plan would permit a range of community-serving uses, such as medical clinics, senior care services, and Los Angeles County-related offices and facilities for residents in the Specific Plan area and the surrounding neighborhood.</p>