



CITY OF EL MONTE

Community & Economic Development Department

SENATE BILL NO. 330 PRELIMINARY APPLICATION

A PURPOSE

The purpose of this handout is to inform potential applications of legislation changes outlined in Senate Bill No. 330 (or “SB 330” or the “Bill”), also known as the Housing Crisis Act of 2019. Specifically, SB 330 requires cities to provide a comprehensive list of requirements for submittal of a “Preliminary Application,” as defined in the Bill. The subsequent checklist serves as a comprehensive set of required materials for a Preliminary Application to be considered complete.

B GENERAL INFORMATION

SB 330 went into effect on January 1, 2020. The Bill is intended to streamline housing projects that are subject to discretionary review under local zoning laws. The Bill establishes a two-step process by which an applicant can “lock in” applicable fees and development regulations by submitting a Preliminary Application. The Preliminary Application does not require as much detail as a typical project application package and ensures a project is only subject to the applicable development regulations and fees in effect at the time the Preliminary Application is accepted as complete. Submittal of a Preliminary Application begins a timeline in which the project must be reviewed and acted upon by the decisions-making body.

C APPLICABILITY

The Preliminary Application process only applies to projects that are considered “Housing Projects,” as defined by SB 330. The housing can be rental or ownership. Specifically, the Statute defines a housing project as any of the following:

- Residentially only projects;
- Mixed-use developments consisting of residential and nonresidential uses, with at least two-thirds of the square footage designated for residential uses; and
- Transitional housing or supportive housing.

D PRELIMINARY APPLICATION SUBMITTAL AND REVIEW

If a proposed project meets any of the above criteria, the applicant may submit a Preliminary Application. The City must review the completeness of the Preliminary Application within 30 days. If a Preliminary Application is deemed incomplete, the applicant has 90 days to resubmit a Preliminary Application. If the applicant fails to resubmit in that timeline, the Preliminary Application shall expire (and the applicant shall start the process over).

If the Preliminary Application is deemed complete, the applicant will be subject to the applicable development regulations and fees in place at the time of submittal. The applicant

must submit a complete development permit application, including all required materials necessary to process the permit, within 180 days of submittal of a Preliminary Application. If no subsequent development permit application is submitted within the allotted time frame, the Preliminary Application shall expire.

The density and floor area of a proposed project may be revised between the submittal of a Preliminary Application and submittal of a complete development permit application. However, if the number of units or floor area is revised by more than 20 percent, exclusive of any increase resulting from the receipt of a density bonus, incentive, concession, waiver, or similar provision, the proposed development project shall not be deemed to have submitted a Preliminary Application that satisfies these requirements under the applicant resubmittals the information in the checklist so that it reflects the revision.

E CONSOLIDATION WITH THE INITIAL PLAN REVIEW PROCESS


Since 2012, the City has had a review process in place for proposed projects called “Initial Plan Review” (or “IPR”). Through the IPR process, applicants would submit preliminary information on a proposed project, along with a set of architectural drawings. Since there would be great overlap between the two reviews, a separate IPR process will no longer be required if an applicant submits a Preliminary Application under the provisions of SB 330.

F PRELIMINARY APPLICATION CHECKLIST

The following table describes the materials required for a complete Preliminary Application. An appointment must be made with the Planning Division to submit an Application. All materials must be provided for the City to accept the Application. A determination of whether an application is complete will be made following the review of the submitted application materials.

Item:	Description / Requirement:	Copies:	Submitted:
1 Review Flow Chart	Review the flow chart for projects subject to SB 330.		
2 Application Form	Fill out all information on the linked form and have it “wet signed” by the property owner and applicant/representative: #####	1	Yes <input type="checkbox"/> No <input type="checkbox"/>
3 Boundary & Topographic Surveys	Complete these surveys to identify property boundaries and any recorded easements. The surveys may be used in lieu of a separate existing site plan if it denotes the proposed alterations to the property (e.g. demolition of existing buildings). Incorporate items listed the following form: #####	8*	Yes <input type="checkbox"/> No <input type="checkbox"/>

Item:	Description / Requirement:	Copies:	Submitted:	
4 Design Guidelines	Respond to all items on the following form: #####	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
5 Existing Site Plan	Identify major physical alterations to the property (e.g. structures to be demolished, structures to remain, etc.). Incorporate items listed the following form: #####	8*	Yes <input type="checkbox"/> N/A <input type="checkbox"/>	No <input type="checkbox"/>
6 Proposed Site Plan	Incorporate items listed the following form: #####	8*	Yes <input type="checkbox"/>	No <input type="checkbox"/>
7 Existing & Proposed Floor Plans	Provide existing and proposed floor plans. For mixed-use projects, clearly differentiate between residential and non-residential. Incorporate items listed the following form: #####	8*	Yes <input type="checkbox"/>	No <input type="checkbox"/>
8 Elevations, Materials & Colors	Include the design of each proposed or altered building. Incorporate items listed the following form: #####	8*, 2** & 1***	Yes <input type="checkbox"/>	No <input type="checkbox"/>
9 Landscape Plans	Incorporate items listed the following form: #####	8*	Yes <input type="checkbox"/>	No <input type="checkbox"/>
10 Tree Protection	Provide all information requested on the following form (note: if there are no existing trees, include photographs showing such): #####	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
11 CEQA	Fill out items listed on the following form (additional environmental analysis may be required): #####	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
12 Historic Evaluation	Fill out items listed on the following form: #####	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
13 Economic Benefits	Fill out items listed on the following form: #####	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>

Item:	Description / Requirement:	Copies:	Submitted:	
14 Title Report	This report must be prepared by a Title Company and identify the subject property, easements, their purpose, and in whose benefit, liens, restrictions, current ownership information and other information to make a complete report.	2	Yes <input type="checkbox"/>	No <input type="checkbox"/>
15 Community Outreach	Optional for projects. This can include letters, petitions and other applicable documents. All information shall be typed or printed carefully, with names and addresses clearly legible.	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
16 Payment of Fees	Residential 2 to 9 units: \$6,757.16 Residential 10 to 49 units: \$8,160.54 Residential 50+ units: \$11,118.90 If the project is mixed-use with commercial and residential, the payment shall only be based on the number of residential units.	Cash, check & credit	Yes <input type="checkbox"/>	No <input type="checkbox"/>
17 Flash Drive	Submit a flash drive including items #2 through #15.	1	Yes <input type="checkbox"/>	No <input type="checkbox"/>
 Review All Documents	To review all links/attachments as one document: #####			

* 2 copies at 11 inches by 17 inches
6 copies at 24 inches by 36 inches

** 1 copies at 11 inches by 17 inches (color)
1 copies at 24 inches by 36 inches (color)

*** 1 materials and colors board

CITY OF EL MONTE

Community & Economic Development Department

1

APPLICATION FLOW CHART

Early Discussions Held

A

The applicant meets with Planning, Building, Engineering and Los Angeles County Fire Department staff. The applicant also reviews the El Monte Municipal Code (EMMC) standards and El Monte's Senate Bill No. 330 (SB 330) Preliminary Application review process.

Preliminary Application Submitted

B

The applicant submits a Preliminary Application to the Planning Division (by appointment only). The Preliminary Application will not be accepted unless Items #2 through #17 are submitted.

Preliminary Application Reviewed

C

The Planning Division shall review the Preliminary Application for completeness within 30 days.

Preliminary Application Deemed Complete/Incomplete

D

If the Preliminary Application is deemed complete, the applicant has up to 150 days to submit a Formal Application under Step #E. If it is deemed incomplete, the applicant has 90 days to resubmit the Preliminary Application under Step #B.

Formal Application Submitted and Reviewed

E

The applicant submits a Formal Application to the Planning Division (by appointment only). The Planning Division shall review the Formal Application for completeness within 30 days. If a Variance or Modification is required, the project is no longer subject to SB 330.

Formal Application Deemed Complete/Incomplete

F

If the Formal Application is deemed complete, the environmental analysis shall be completed and the applicant shall move to Step #G. If it is deemed incomplete, the applicant shall resubmit under Step #E. The timeline to resubmit is included in the 150 day number.

Formal Application Review by Director or Commission

G

- **Director Level Review** is required for Design Review, provided no other entitlements are required.
- **Planning Commission Level Review** is required for Design Review, if other entitlements are required.

CITY OF EL MONTE

Community & Economic Development Department

2

PLANNING APPLICATION

PART I. APPLICATION INFORMATION:

- | | |
|---|--|
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> PC Design Review |
| <input type="checkbox"/> General Plan Conformity | <input type="checkbox"/> Director Design Review |
| <input type="checkbox"/> Zone Change | <input type="checkbox"/> PC Time Extension |
| <input type="checkbox"/> Vesting/Tentative Tract Map | <input type="checkbox"/> Director Time Extension |
| <input type="checkbox"/> Vesting/Tentative Parcel Map | <input type="checkbox"/> Initial Plan Review |
| <input type="checkbox"/> Modification | <input type="checkbox"/> Major Project Revision |
| <input type="checkbox"/> Zoning Clearance | <input type="checkbox"/> Minor Project Revision |
| <input type="checkbox"/> Other _____ | |

For Planning Use Only:

Date Received: _____

Received By: _____

Assigned To: _____

Receipt No.: _____

Case No(s): _____

PART II. PROPERTY INFORMATION:

Street Address

Assessor Parcel Nos. (APNs)

Size of parcel(s): _____

Width: _____

General Plan designation: _____

Zoning: _____

PART III. PROPERTY OWNER INFORMATION:

Name

Phone No.

Street/City/Zip

Email Address

PART IV. APPLICANT/REPRESENTATIVE INFORMATION (if applicable):

Name

Phone No.

Street/City/Zip

Email Address

PART V. ADDITIONAL CONTACT PERSON INFORMATION (if applicable):

Name	Phone No.
Street/City/Zip	Email Address

PART VI. PROJECT DESCRIPTION:

PART VII. OWNER'S AFFIDAVIT:

State of California)
County of Los Angeles) SS:

I/We _____ being duly sworn, depose and say, that I/we am/are the owner(s) of the property involved in this petition, and that the foregoing statements and answers herein contained and the information herewith submitted, are in all respects true and correct to the best of my knowledge and belief. By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner Signature	Date
Property Owner Name (Print)	

Note: This application must be signed by the same persons, and in the same manner as that in which title is held. Before signing, please examine your deed or title insurance policy.

Applicant/Representative Signature	Date
Applicant/Representative Name (Print)	

CITY OF EL MONTE

Community & Economic Development Department

3

BOUNDARY & TOPOGRAPHIC SURVEY

The purpose of this survey is to identify all property boundaries and recorded easements. This must be a field-based boundary survey, with a note to that effect on the document. The survey may be used in lieu of an existing site plan if shows proposed alterations to the property (e.g. demolishing existing buildings).

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

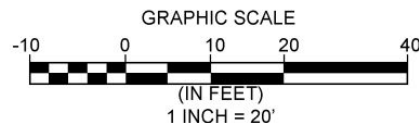
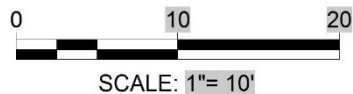
PART II. PLAN SET REQUIREMENTS:

The applicant is responsible for submitting accurate, clear and readable information, maps and drawings. The applicant is responsible for any processing delays caused by inaccurate or unclear information, maps or drawings. The 11 inch x 17 inch drawings will be routed to some City Departments, therefore it needs to be readable and reproducible.

- 1. Size of copies of plans:** Six (6) copies at 11 inches x 17 inches.
Two (2) copies at 24 inches x 36 inches.

2. Drafting Instructions as follows:

- a. Scale all plans.
- b. Provide a bar scale for all drawings to preserve a scale on any reduced versions of the plans (see examples).



- c. Include a north arrow for site orientation for all plan drawings (see examples).



- d. Ensure the area plan and site plan are oriented in the same direction.
e. Include the address of the subject property on each sheet.

PART III. SURVEY REQUIREMENTS:

1. **Boundary or Land Survey:** The boundary survey shall be prepared by a licensed land surveyor or a qualified licensed civil engineer and shall be established utilizing a field survey. It shall be tied to at least two existing monuments of record so that it can adequately verify the lot line locations in the field and be easily retraced by others. If two monuments cannot be found, then corners shall be set in the field and necessary documents shall be submitted to and recorded with the County Surveyor.
2. **Topographic Survey:** While El Monte is generally flat, topographic information is usually required to establish elevation information. The survey should include all improvements and topographical features such as elevations of the land, embankments, contours, trees, roads, ditches utilities, etc.
3. **Survey plans shall include the following:**
 - a. The scale should be 1" = 20' scale (unless another scale has been approved by a planner).
 - b. Include the subject property and all contiguous properties, with addresses listed.
 - c. Identify all adjacent streets, alleys and/or easements of record. Include right-of-way or easement widths.
 - d. Show the centerline(s) of the right-of-way for adjacent street(s);
 - e. Provide the dimensions from the nearest adjacent property line to the right-of-way centerline;
 - f. Show all onsite and offsite visible utilities, such as utility poles, anchor wires/cables, street lights, vaults, boxes, fire hydrants, meters, sanitary sewer clean outs and manholes, and storm water manholes, area drains, and swales;
 - g. Label closest fire hydrant location(s) within 150 feet for commercial properties and 250 feet for residential properties;
 - h. Label the gross and net lot areas for the subject property;
 - i. Label the distance between all existing structures on subject property and best estimate from structures on adjacent properties.
 - j. Show existing street frontage improvements including sidewalks and curb types. Label all existing structures and hardscape, including driveways and aprons with the calculated total area for each;
 - k. Label existing trees and other significant property features;
 - l. Label two physical monuments of record (if too far away to be shown to scale on the plans, show by reference);

- m. Identify the basis of bearings, bearing and distance information for all property lines/boundaries;
- n. Provide the recorded lot/block/map data, or if unmapped, the recorded deed document number; and
- o. Identify fence lines and/or retaining walls with the material and height noted.

3. Signature and Statement:

Include the following statement, or similar, with the surveyor's signature, stamp, license number and expiration date:

"I certify that this parcel's boundary was established by me or under my supervision and is based on a field survey in conformance with the Land Surveyor's Act. All monuments are of the character and occupy the positions indicated and are sufficient to enable the survey to be retraced."

PART IV. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

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Community & Economic Development Department

4

DESIGN GUIDELINES

The purpose of this section is to confirm the proposed project is consistent with the City's General Plan Community Design Element, Zoning Code standards related to design and Comprehensive Design Guidelines.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

PART II. SITE PLANNING:

Site planning involves a careful analysis of the opportunities and constraints of a property. The components of site development extend beyond building placement and includes the topography, surrounding uses, retaining walls, landscape design, hardscape and parking. Indicate whether an item has been complied with, has not been complied with, or does not apply.

Garage Location and Driveways:

1. Vehicular access shall be from an alley whenever possible.	Yes	No	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Driveways and curb cuts shall be the minimum width and number allowed by the Zoning Code to minimize pedestrian conflicts.	Yes	No	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Driveways shall be located away from street intersections and to minimize conflict with traffic on public streets.	Yes	No	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4.	For projects with detached units that face a public street, the garage shall be accessed from the side or rear of the unit. If the garage must face the street, it shall be recessed, compared to the rest of the unit.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
5.	For structures with four (4) or more units, parking shall be separated from the street by an active use (residential or commercial).	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
6.	For structures with four (4) or more units, parking should be located behind, under or on the side of buildings, not visible from any street. Garages shall be located on the back half of the lot or screened from view by housing units or landscaping.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
7.	Pedestrian access to subterranean parking should be from the common open space. Elevators and stairs to subterranean parking shall be incorporated into the building design rather than be freestanding elements.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
Landscape and Hardscape Design:				
1.	When driveways are proposed adjacent to a property line, a minimum three (3) foot wide planter shall be placed between the driveway and the property line/wall, as outlined in the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	Protection measures shall be put in place for existing Oak, Bay Laurel and Sycamore trees that are healthy.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	All landscaping shall be drought tolerant. The use of turf shall be limited to the maximum amount outlined in California State Law.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4.	Space for landscaping should be provided adjacent to driveway or alley garage entries (e.g. pockets of landscaping between garage entrances).	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
5.	Decorative driveway pavers shall be incorporated for all projects. For projects with less than four (4) units, pavers should be located at the driveway entrance behind the public right-of-way. For projects with four (4) or more units, decorative pavers should be located at the driveway entrance and other focal points throughout the project. This may include at driveway intersections, driveway bends and pedestrian walkways.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
6.	For common areas above grade, landscaping should be designed with a minimum depth of XX feet to allow planting to grow to full maturity.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Walls and Fences:

1. If a front yard fence is proposed, it shall be set back a minimum of three (3) feet from the front property line and shall not exceed a height of 42 inches. For materials, they should be of wood, wrought iron, stucco block or stone. Pilasters should also be incorporated in the design. The selected style, material and color should complement the proposed architectural style of the units. Chain link, block wall, vinyl or other plastic materials shall not be permitted.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2. If a vehicular gate is proposed, it shall be set back a minimum 20 feet from the front property line. In addition, the applicant shall provide information on how residents will be notified of visitors and how vehicles will stack behind the gate.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3. For all sites serving three (3) or more dwelling units, a solid six (6) foot high masonry wall shall be installed and maintained adjacent to the rear and interior side property lines to the front setback line. For changes in grade between the subject and adjacent property, refer to requirements outlined in the applicable zone.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Mechanical Equipment:

1. Mechanical equipment should be placed as far away from the street as possible and screened from view in ways that are integrated into the building and site design.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2. If mechanical equipment is proposed on the roof, it shall be fully screened and integrated with the building's design.	Yes* <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Trash Location and Enclosure:

1. For projects with less than four (4) units, trash receptacles should be stored out of public view. Adequate space for separate recycling bins should be provided.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2. For projects with four (4) or more rental units, enclosed common trash areas shall be provided in sufficient quantity to accommodate all refuse generated, as outlined in the Zoning Code. The areas should also be convenient located.	Yes* <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3. For projects with ownership units, individual bins for each unit may be requested. A refuse plan shall be provided showing where the bins will be stored for each unit, where the bins will be located for pick-up, and the truck route showing how the refuse will be picked-up.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Lighting:

1. A lighting plan may be required to show location of all proposed light fixtures, and resulting lighting levels. If light will spill-over onto adjacent properties, measures may be needed to reduce spill-over to an acceptable level.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
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2. Exterior lighting should be designed for specific tasks, including streets and driveways, pedestrian paths, entry ways, parking areas and common areas.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3. Lighting should be incorporated into the building and landscape design to provide ambience, safety and security. All lighting fixtures shall be consistent in design and architecturally compatible with the selected architecture for the project.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

PART III. MASS AND SCALE:

New buildings should fit with the surrounding building fabric. While new proposals need not copy existing developments, mass and scale should respect adjacent building context.

Relate Buildings to Existing Context:

1. The project shall comply with all height limits outlined in the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2. Submit a "Block Profile" identifying the number of stories for all properties along the block of the subject property (not including the subject property). For projects in the R-3, R-4, C-0, C-1, C-2 and C-3 zones, if 50 percent or more of the buildings fronting the street are one (1) story in height, the street facing building(s) for the project shall not exceed a height of two (2) stories. If there are less than eight (8) properties along a block (not including the subject property), an "Alternate Block Profile" may be establish, subject to approval by the Planning Division. Examples of an "Alternate Block Profile" include using more than one (1) block of properties or both sides of a particular street.	# of Properties: ___ 1 story: ___ 2 stories: ___ 3+ stories: ___ Proposed: ___		
3. The project shall comply with the variable height limits outlined in the Zoning Code. When a mixed-use or residential project in the MMU, R-4, C-0, C-1, C-2 and C-3 zones abuts a property in the R-3 or a more restrictive zone, the following shall be met:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
A. Setback is less than 40 feet from a property in the R-3 or a more restrictive zone: the building height shall not exceed 30 feet.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
B. Setback is 40 feet to 100 feet: height shall not exceed 40 feet.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
C. Setback is greater than 40 feet: height shall not exceed limits outlined in the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4. The project shall comply with all minimum building separation requirements outlined in the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Outdoor Space:

1.	The project shall comply with all open space requirements of the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	The entrances of 40 percent or more of the units should face a public street or common open space areas. If a Planned Residential Development (PRD) is proposed, the common open space areas shall have a minimum size of 1,000 square feet and minimum dimensions of 25 feet.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	A minimum of one (1) common open space area should be visible from the public right-of-way. Common open space areas should also be oriented to receive maximum exposure to the southern sky.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4.	The applicant shall provide a written narrative of how the common open space areas will be programed (e.g. barbeque area, children's playground, swimming pool, etc.).	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
5.	The applicant shall submit a "Pedestrian Plan" showing how pedestrians will access common open space areas and the public right-of-way. Common open space areas shall be easily accessible from all units.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Scale and Proportion/ Monumentality:

1.	The project shall comply with the maximum floor area ratio (FAR) and maximum lot coverage requirements of the Zoning Code.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	The project shall comply with all setback and second-story step back requirements as outlined in the Zoning Code. Accent features such as chimneys, porches, bay windows and balconies may encroach into certain setback areas, depending on the location. This can assist in breaking down the scale of the buildings.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	The maximum length of walls before providing a minimum offset of at least five (5) feet, shall be the following: A. R-2 zone: 80 feet; B. R-3 zone: 100 feet; and C. R-4, C-0, C-1, C-2 and C-3 zones: 120 feet.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Roof Forms:

1.	Roof line configurations (i.e., shed, gable, hip, flat) shall be used to reinforce the overall architectural idea. In some cases, variation of the roof form, heights etc., can provide visual interest and provide appropriate scale and proportion for the structure.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
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2. Roof forms shall be consistent with the building overall building design.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3. Roofs on a building and its garage shall be consistent, employing the same roof type (hipped, gabled or flat), slopes and materials.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4. Superficial roof forms, such as mansards roof, should not be affixed to a building.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

PART IV. DESIGN AND DETAILING:

The design and detailing of the building is paramount to a quality environment. Detailing and choice of materials should reinforce the overall project design. Architectural design elements, details and materials, should be consistent throughout a project, recognizing that a building is 3-dimensional and must be well-designed on all sides.

Overall Design and Detailing:

1. The City of El Monte does not have a preferred architectural style. However, the selected architectural design should be true to the style with regards to defining characteristics, roof types and materials, building materials and colors and window and entry types.

The main architectural styles found in El Monte and the greater San Gabriel Valley include Craftsman, Ranch, Spanish Revival, Victorian, Modern (including Art Deco and Mid-Century) and Contemporary. Refer to Sections V through XX for a summary of each architectural style.

Identify the architectural style selected for the project:

- Craftsman Ranch Spanish Revival
 Victorian Modern Contemporary
 Other _____

2. Buildings shall be designed in three dimensions (i.e. where each elevation is given equal attention and treatment). Therefore, side elevations on corner streets, internal side elevations that front secondary driveways, elevations that face alleyways, and elevations that face common open space areas shall be given equal treatment with regards to detail. None of these elevations should be treated like the “rear” of a building.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3. Use of generic, applied or foam details shall not be used, especially at the ground level where they are difficult to maintain and can be easily damaged.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4. Balconies are most attractive and useful when integrated into the architecture of the building. Balcony railings should be well designed and crafted, and consideration should be given to screen items stored on the balcony from view.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Entryways:

1.	The design of the entryways shall be consistent with what is typically used for the selected architectural style.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	Entrances and windows, not garages, should be the dominant elements of the front façades. For example, stoops, and porches can be used to provide a transition from public/outdoor space at the unit entry. All architectural strategies, and elements should reinforce the overall architectural design.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	Two-story and over-scaled entries shall not be permitted. Rather, entries should be integrated into the overall design of the structure.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4.	For units that face the street, entries and living spaces (e.g. living rooms, dining rooms), should be oriented toward the street. Where units are configured around a common open space, entries and living space should be oriented toward common open space.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Windows and Doors:

1.	The design of the windows and doors shall be consistent with what is typically used for the selected architectural style. This includes the window and door type, material, shape and proportion.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	The use of “security bars” shall be prohibited.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	Window articulation, such as sills, trim, shutters, or awnings, should be used where appropriate to the architectural style.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4.	To enhance privacy, windows on side elevations of adjacent homes should be staggered whenever possible. Windows should not be positioned directly opposite of windows in an adjacent structure.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

Finished Materials and Colors:

1.	The selected materials and colors shall be consistent with what is typically used for the selected architectural style.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
2.	All materials should be durable and of high quality, especially for elevations facing the street. Materials that are short lived or insubstantial, such as unfinished wood, shall not be used.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
3.	Stucco should have a smooth finish, with a minimum rating of XX to XX . Textured lace or rough sand finishes shall not be permitted.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>
4.	Materials shall be wrapped around the exterior corners of a building, to alleviate the appearance of a “wall paper” application.	Yes <input type="checkbox"/>	No <input type="checkbox"/>	N/A <input type="checkbox"/>

PART V. CRAFTSMAN STYE:

The Craftsman style, also known as the Arts and Crafts style, was a popular California architectural style during the first three decades of the 1900s. The style embraced traditional craftsmanship, simplicity, and natural materials. Many of the Craftsman houses in El Monte are small, one and one-and-a-half story bungalows. The standard form features a covered porch at the entry. The design is often used today in the San Gabriel Valley for low-density to medium-density housing projects.

Defining Architectural Characteristics:



Low-Pitched Roofs



Intersecting Gables



Exposed Beams/Rafters



Battered Columns



Projecting Eaves



Shed Dormers

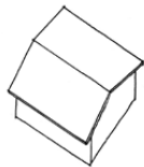


Gable Dormers



Porches

Preferred Roof Types:



Side Gabled



Front Gabled



Hipped Roof



Roof & Dormer Windows

Preferred Roof Materials:



Slate Shingles



Wood Shingles or Shakes



Asphalt Shingles

Preferred Building Materials and Colors:

Most craftsman housing utilize a primary exterior material (wood shakes, wood shingles, wood clapboard siding, and stucco) with an accent material such as stone or brick around the foundation, for supports, and for chimneys. They are often painted with a principal color and two complementary trim colors.



Wood Shakes/Shingles



Wood Clapboard



Stucco and Wood



Stone (Accent Material)



Brick (Accent Material)



Wood Trim (Accent Material)

Preferred Window and Entry Types:

Windows on Craftsman buildings are typically fixed, double-hung and casement. A distinct Craftsman-style window has a diamond pattern of three, six, eight, or nine small panes over one large pane. Craftsman doors are often wood with a stained finish. Windows within the door are arranged in distinct vertical and horizontal patterns.



Picture Windows



Group Windows



Paired Windows



Glazed Door with Windows



Paneled Doors



Doors with sidelights

PART VI. RANCH HOUSE:

The Ranch style house was perhaps the ultimate symbol of the postwar American dream – a safe, affordable house promising efficiency and casual living. California architects created this style in the 1920s based on early Spanish Colonial houses modified with modern Craftsman and Prairie elements. Ranch housing dominates El Monte neighborhoods built in the 1940s and 1950s. The design is still used today in the San Gabriel Valley for low-density and low-medium density housing projects.

Defining Architectural Characteristics:



Asymmetrical Facade



Single or Two Story



Low Pitched Roof



Prominent Chimney



Long Low Roofline



Overhanging Eaves

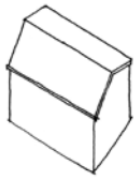


Recessed Porch

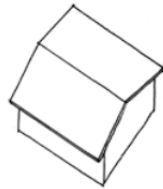


Simple Post

Preferred Roof Types:



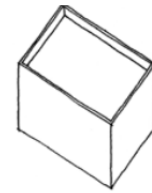
Side Gabled Roof



Front Gabled Roof



Hipped Roof



Flat Roof

Preferred Roof Materials:



Slate Shingles



Asphalt Shingles



Wood Shingles

Preferred Building Materials and Colors:

Ranch houses typically have wood or brick siding and a low-pitched roof with a covering of a half-cylindrical tiles or shingles. A mixture of siding materials is common. Wood is often used for trim around windows and doors, and for porch posts.



Stucco



Wood Lap



Board and Batten



Wood Shingles



Brick



Wood Trim

Preferred Window or Entry Types

Windows emphasize the horizontal orientation of Ranch-style housing by either having more width than height, appearing in groups, or being flanked by shutters. They are casement and double hung. Ranch housing entries are typically recessed under a wide overhanging eave. Doors tend to be wood paneled or flat and are sometimes paired. A popular trait of Ranch style housing are sliding glass doors for secondary entries.



Casement Windows



Double Hung Windows



Bay Windows



Single Door



Paired Door



Sliding Glass Doors

PART VII. SPANISH COLONIAL REVIVAL STYLE:

Spanish Colonial Revival is a mixture of styles derived from a variety of European and American sources, including the pueblo and Mission styles. After emerging during the San Diego's 1915 Panama-California Exposition, Spanish Colonial Revival became "the style" for Southern California by the 1920s. El Monte contains a large number of one-story Spanish Colonial Revival houses in older neighborhoods. The design remains very popular today in the San Gabriel Valley for low-density to high-density and mixed-use housing projects.

Defining Architectural Characteristics:



Asymmetrical Facade



Complex Roof Forms



Eaves with Little Overhang



Courtyards



Small or no Porches



Arches and Arcades



Towers

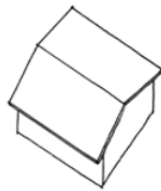


Balconies

Preferred Roof Types:



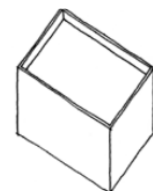
Side Gabled Roof



Front Gabled Roof



Hipped Roof



Flat Roof

Preferred Roof Materials:



Clay Tiles



Clay Tiles



Clay Tiles

Preferred Building Materials and Colors:

Smooth finished stucco is used to cover the exterior walls and chimneys of Spanish Colonial Revival residences. The color of the walls is often white or beige. Cast concrete blocks, terra cotta tiles, iron hardware, and wood serve as a decorative elements. Terra cotta tiles are often used around the house foundation.



Smooth Finish Stucco



Smooth Finish Stucco



Cast Concrete (accent material)



Terra Cotta (accent material)



Iron (accent material)



Wood Trim

Preferred Window or Entry Types:

The windows for Spanish Colonial Revival houses are fixed, casement, or double-hung. They are typically arched and recessed. One large window will often serve as the focal element of the façade. Spanish Colonial Revival doors are usually constructed out of carved wood and appear heavy. Iron and wood grilles will sometimes cover small windows in doors. Entries also feature arch elements, small porches and balconies.



Arched Windows



Casement Windows



Double Hung Windows



Arched Entry



Heavy Wood/Carved Doors



Doors with Grille

PART VIII. VICTORIAN STYLE:

Victorian style housing became popular in the late 1800s and early 1900s. Examples in El Monte are typically simple structures made of wood and usually sided with clapboard or shingle siding. El Monte has few examples of Victorian housing, and those that exist are mostly in the oldest parts of the City. The design is still used today in the San Gabriel Valley for low-density to medium-density housing projects.

Defining Architectural Characteristics:



Asymmetrical



Prominent Porch



Multiple Front Gables



Open Balustrade



Steep Pitched Roof



Towers

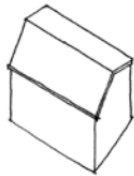


Bay Windows

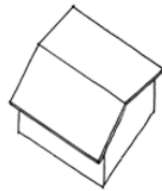


Turned Columns

Preferred Roof Types:



Side Gabled Roof



Front Gabled Roof



Hipped Roof

Preferred Roof Materials:



Slate Shingles



Asphalt Shingles



Wood Shingles

Preferred Building Materials and Colors:

The exterior façade of most Victorian houses is either painted entirely white or a combination of two or three contrasting colors. White is most often the customary paint color for wood trim. Shutters are painted in darker colors. Stone and brick are common materials around the foundation.



Wood Clapboard



Wood Shingles and trim



Scalloped Shingles



Brick



Stone



Metal

Preferred Window or Entry Types:

Windows are often tall and rectangular in shape with a double hung framework. They are sometimes flanked by wood shutters or topped by a pediment. Bay windows, paired windows, triple clustered windows and stained glass windows are also prevalent. The raised front porch is a major element that can serve as an outdoor living area. Porches often feature turned posts, balustrades, and pediments. The paneled type of door is recessed within the porch.



Double Hung Windows



Grouped Windows



Bay Windows



Paneled Doors



Paired Doors



Recessed Entry

PART IX. MODERN STYLE:

Modern architecture (not to be confused with 'Contemporary architecture') describes a style of architecture that possesses simple forms and little or no ornamentation. Although this style was conceived early in the 20th century (through Art Deco and Streamline Moderne), it became very popular in the mid-part of the century (Mid-Century design). Entries are integral to the particular geometrical design of the house and range from subdued or hidden to being a dominant architectural feature of the house. The design is still used today in the San Gabriel Valley for low-density to medium-density housing projects.

Defining Architectural Characteristics



Asymmetrical Facade



Horizontal Orientation



Simplified Forms



No Ornamentation



Cantilevered Floors



Metal Balustrades

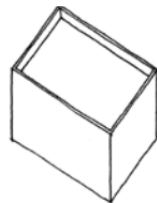


Horizontal Stripes

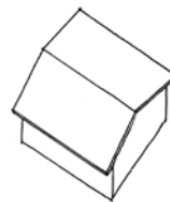


Rounded Corners

Preferred Roof Types:



Flat Roof



Low Pitch Gable Roof

Preferred Roof Materials:



Asphalt



Asphalt



Synthetic

Preferred Building Materials and Colors:

The Modern tradition embraced the new building materials of the 20th century, including reinforced concrete, steel, chrome, and glass block. Modern buildings often have smooth stucco and reinforced concrete exterior walls with aluminum and stainless steel trim and extensive use of glass. White is the most common color for exterior walls although other muted colors are also used.



Stucco



Concrete



Steel



Glass



Glass Block



Aluminum Trim

Preferred Window Entry Types

Glass is a favorite material of Modern architecture, so Modern houses incorporate considerable space for windows. They tend to be fixed or casement windows arranged in horizontal bands. Modern doors tend to be flat and incorporate simple geometric forms constructed from glass, wood, and steel. Sliding glass doors first became a popular feature in modern Houses.



Grouped Windows



Corner Windows



Porthole Windows



Glass Doors



Flat Wood Doors



Sliding Glass Doors

PART X. CONTEMPORARY STYLE:

The Contemporary style does not come from any particular time period and is ever changing. What is contemporary today may be different 10 years from now. Since the early 2000s, Contemporary architecture has incorporated a modern flair, with design tweaks from postmodernism. Elevations are usually asymmetrical and can include bold lines and geometric shapes. Materials are just as important as the final product, with the style placing a huge emphasis on natural and sustainable building materials. The design is very popular today in the San Gabriel Valley for high-density, mixed-use and urban housing projects.

Defining Architectural Characteristics:



Asymmetrical Facade



Geometric



Free Flowing



Bold Lines



Green Walls



Horizontal Lines

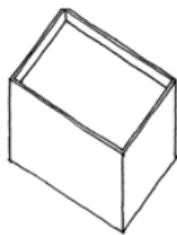


Boxed Shapes

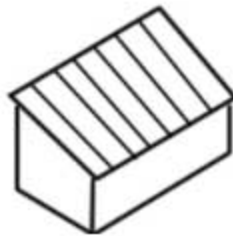


Mix of Materials

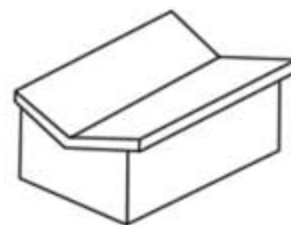
Preferred Roof Types:



Flat Roof



Shed Roof



Butterfly Roof

Preferred Roof Materials:



Synthetic



Metal



Green

Preferred Building Materials and Colors:

Contemporary style architecture uses a combination of different materials for the façade. Housing may be made out of concrete, steel or glass, and can have stone, wood, brick or metal panels as accents. Neutral earth toned colors dominate the exterior, but can be mixed with bright accent colors. The Contemporary Style often designed with the environment in mind, meaning the use of recycled building materials is common.



Brick & Metal



Wood



Metal, Glass & Wood



Wood & Concrete



Wood & Smooth Stucco



Bright Colors

Preferred Window Entry Types

Glass is a favorite material of Contemporary architecture, so the housing incorporates considerable space for windows. The windows tend to follow the lines of the house, whether they be horizontal, vertical, boxed or have an angle.



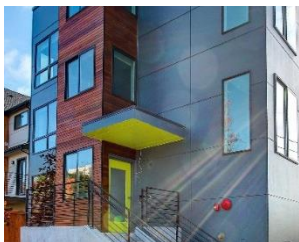
Expansive Windows



Vertical Box Windows



Clerestory Windows



Accent Colored Doors



Integrated Doors



Awnings & Doors

PART XI. THE DESIGN NARRATIVE (attach additional sheets, if necessary):

1. **Scale, Mass and Placement.** How does the proposed project relate to its site and to its neighbors in terms of setbacks, heights, massing, scale and topography?

2. **Adjacent Residential (if applicable).** If the proposed building(s) is located immediately adjacent residential uses, what measures have been incorporated to ensure the building(s) is appropriate to, and not a visual nuisance to, the adjacent residential?

3. **Architectural Style.** What architectural style has been chosen for the proposed building(s) and why? How are the building's architectural elements and features true and consistent with that style?

4. **Materials and Colors.** What materials and finishes are proposed and how will they be employed to express the permanence of the building and reinforce the architectural style chosen?

5. **Landscaping (if applicable).** How does the proposed landscape go with the proposed architectural style? How will the proposed landscape design comply with the State Mandated Model Water Efficiency Landscape Ordinance (MWELo)? If healthy, heritage trees existing on the site, what measures will be taken to protect them? If any are proposed for removal, what justification is there for that action?

6. **Design Guidelines.** How is the overall proposed project (i.e. its site plan; scale and mass; architectural style; materials and colors; and landscaping) consistent with the City's Design Guidelines?

PART XII. PROPERTY OWNER SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

5

EXISTING SITE PLAN

The purpose of this worksheet is to obtain information regarding the existing site plan. In some cases, an existing site plan is not necessary. An example of this is when the property is currently vacant. Speak with a planner to determine whether your application requires an existing site plan. Please note there is overlap in the information requested for Items #6 (Proposed Site Plan) and #7 (Existing & Proposed Floor Plan).

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

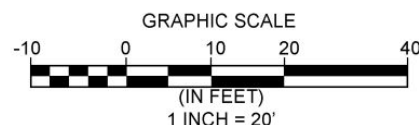
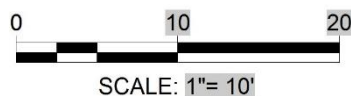
PART II. PLAN SET REQUIREMENTS:

The applicant is responsible for submitting accurate, clear and readable information, maps and drawings. The applicant is responsible for any processing delays caused by inaccurate or unclear information, maps or drawings. The 11 inch x 17 inch drawings will be routed to some City Departments, therefore it needs to be readable and reproducible.

1. **Size of copies of plans:** Six (6) copies at 11 inches x 17 inches.
Two (2) copies at 24 inches x 36 inches.

2. **Drafting Instructions as follows:**

- Scale all plans.
- Provide a bar scale for all drawing to preserve a scale on any reduced versions of the plans (see examples).



- c. Include a north arrow for site orientation for all plan drawings (see examples).



- d. Ensure the area plan and site plan are oriented in the same direction.
e. Include the address of the subject property on each sheet.

3. Area plan shall include the following:

- a. The scale should be 1" = 20' scale (unless another scale has been approved by a planner).
- b. Include the subject property and all contiguous properties, with addresses listed.
- c. Include all adjacent streets, alleys and/or easements.
- d. Include all existing structures on the subject property and contiguous properties (approximate scale is sufficient).
- e. Label the distance between all structures on subject property and best estimate from structures on adjacent properties.
- f. Label existing driveways, trees and other significant site features.
- g. For large projects, extend the area plan across the subject street(s) and show driveways on facing properties.

4. Site Plan:

- a. The scale should be 1/8" = 1" scale (or other as approved by a planner).
- b. Provide the dimensions of subject property.
- c. Show the dedication line, if one will be required per the City of El Monte's General Plan.
- d. Show the locations, dimensions and description of all existing easements.
- e. Show the locations and dimensions of all existing structures (including garages and carports, storage buildings, arbors, patios, decks, balconies, light wells, air conditioning equipment, swimming pools and spas, etc.).
 - Identify structures to remain, structures to be demolished and any structures to be relocated.
- f. Protected/heritage trees:
 - Identify the location, size and type of all trees and significant landscape features. Note whether trees are protected/heritage-sized and/or proposed to be removed and show both the tree's canopy and full trunk outline.
 - Identify all protected/heritage trees located on other properties, within approximately ten (10) feet from the property line, must be noted on this plan, and tree protection fencing must be shown. Number and label all trees in accordance with the arborist report.
- g. Provide dimensions of both required and actual setbacks for structures and landscaping.
- h. Show the layout of existing driveways.
 - Identify existing driveways to remain with no changes, remain with changes (e.g. widened or narrowed) or to remove.

- i. Label existing walls/fences, including their height and materials,
 - Identify walls/fences to remain, to remain with changes (e.g. raised in height) and to remove.
- j. Provide the layout of existing off-street parking spaces (covered or uncovered) to remain, to remain with changes and to remove.
- k. Label the separation between any structures that are adjacent to one another.
- l. Identify the location and name of adjacent streets. The plan must extend to the center line of all adjacent streets and accurately represent and fully dimension the existing and proposed frontage improvements (curbs, gutters, sidewalks, etc.).
- m. Show the existing and proposed grade elevations of the property (if grade differential on property is greater than three (3) feet).
- n. Provide the location of all utility company equipment including power poles, fire hydrants, and streetlights.

5. Site Analysis:

- a. Provide Items #5-b through #5-g in table form.
- b. Provide the total square footage of the subject property prior to and after any required dedications.
- c. Provide the floor area for all existing garages and other non-habitable spaces.
- d. Provide the floor area for all other existing structures.
- e. Provide the percentage of land covered by all existing structures (i.e. lot coverage).
- f. Identify the percentage of the entire property that is paved and landscaped.
- g. Identify the total number of parking spaces, both covered/enclosed and uncovered.

PART III. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

6

PROPOSED SITE PLAN

The purpose of this worksheet is to obtain information regarding the proposed site plan. This plan will provide important information on the proposed project and will be closely reviewed for compliance with the El Monte Municipal Code (EMMC). Please note there is overlap in the information requested for Items #5 (Existing Site Plan) and #7 (Existing & Proposed Floor Plan).

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

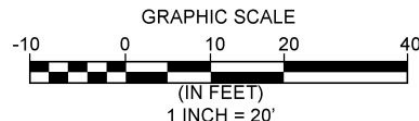
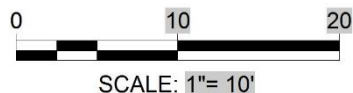
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Two (2) copies at 24 inches x 36 inches.

2. Drafting Instructions as follows:

- Scale all plans.
- Provide a bar scale for all drawings to preserve a scale on any reduced versions of the plans (see examples).



- c. Include a north arrow for site orientation for all plan drawings (see examples).



- d. Ensure the area plan and site plan are oriented in the same direction.
e. Include the address of the subject property on each sheet.

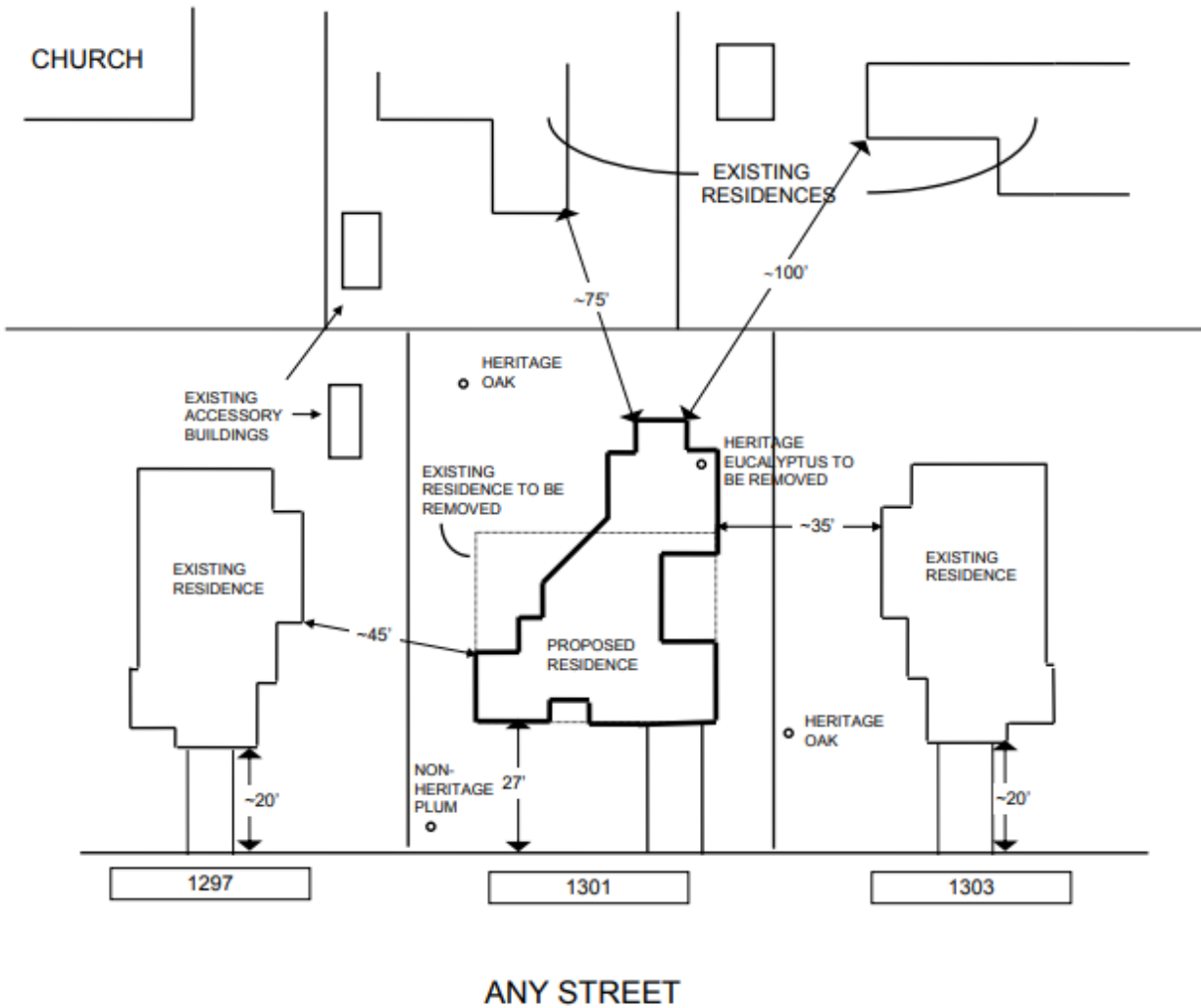
3. Area plan shall include the following:

- a. The scale should be 1" = 20' scale (unless another scale has been approved by a planner).
- b. Include the subject property and all contiguous properties, with addresses listed.
- c. Include all adjacent streets, alleys and/or easements.
- d. Include all proposed new structures and existing structures to remain.
- e. Label the distance between all proposed structures on subject property and best estimate from structures on adjacent properties.
- f. Label all proposed new driveways and existing driveways to remain.
- g. Label existing trees to remain and other significant site features.
- h. Speak with a planner to determine whether the proposed site plan should include existing structures, driveways and other significant site features to be removed (which would be understated in dashed lines).
- i. For large projects, extend the area plan across the subject street(s) and show driveways on facing properties.

4. Site Plan:

- a. The scale should be 1/8" = 1" scale (or other as approved by a planner).
- b. Provide the dimensions of the subject property.
- c. Show the dedication line, if one will be required per the City of El Monte's General Plan.
- d. Show the locations, dimensions and descriptions of all existing easements.
- e. Show the locations and dimensions of all existing structures to remain (including garages and carports, storage buildings, arbors, patios, decks, balconies, light wells, air conditioning equipment, swimming pools and spas, etc.).
- f. Protected/heritage trees:
 - Identify the location, size and type of all trees and significant landscape features to remain. Note whether trees are protected/heritage-sized and show both the tree's canopy and full trunk outline.
 - Identify all protected/heritage trees located on other properties, within approximately ten (10) feet from the property line, must be noted on this plan, and tree protection fencing must be shown. Number and label all trees in accordance with the arborist report.
- g. Provide dimensions of the required and actual setbacks for structures and landscaping.
- h. Show all proposed new driveways and existing driveways to remain (including proposed widths).

EXAMPLE OF AN AREA PLAN

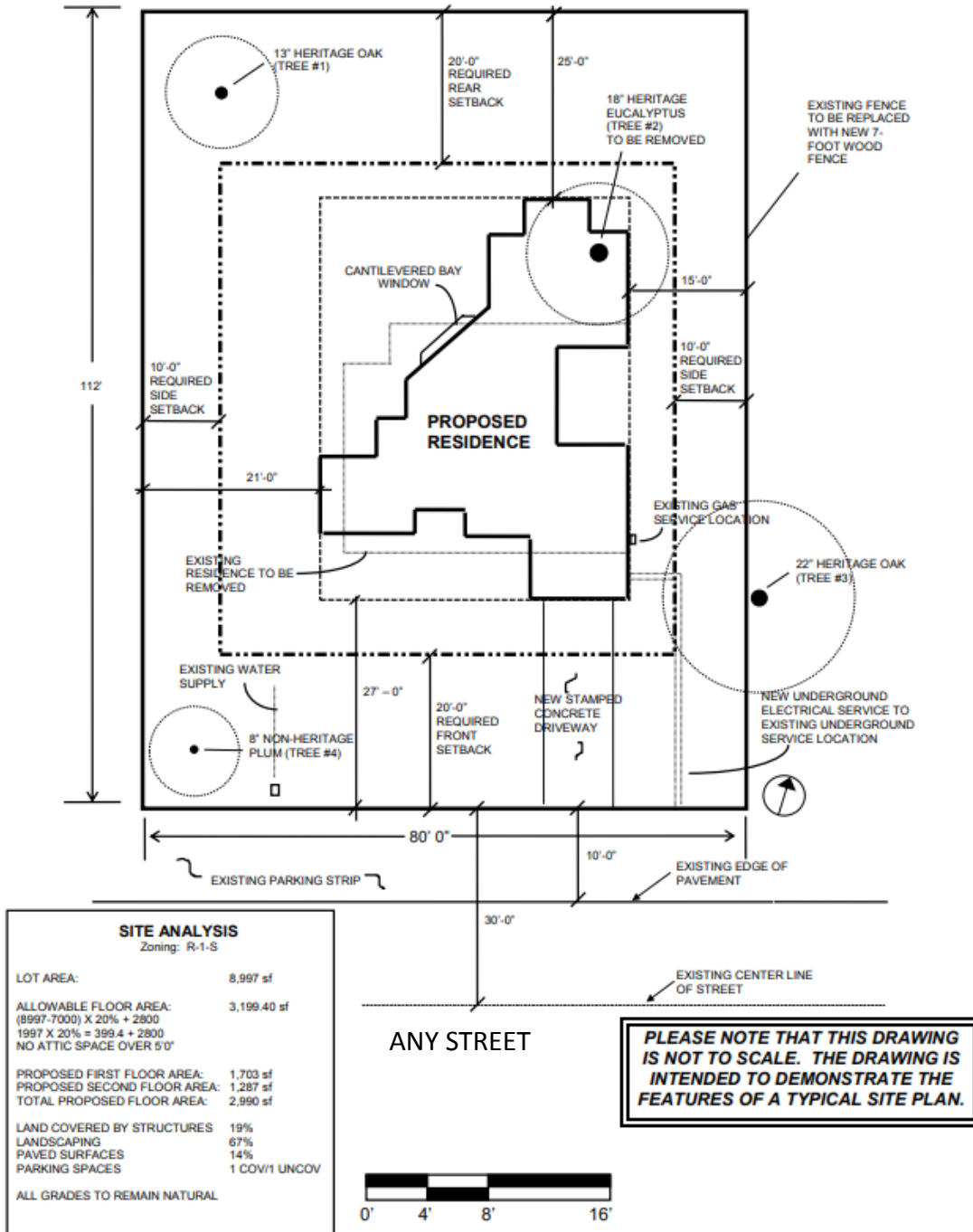


AREA PLAN

1100 ANY STREET

1" = 20'

EXAMPLE OF A SITE PLAN



SITE PLAN

1100 ANY STREET

1/8" = 1'

- i. Label proposed new walls and existing walls to remain, including their heights and materials.
- j. Provide the layout of all new off-street parking areas and existing off-street parking spaces to remain (including dimensions of spaces and back-up dimensions). These can be covered or uncovered.
- k. Include decorative pavers at key driveway locations.
- l. Label the separation between any structures that are adjacent to one another.
- m. Identify the location and name of adjacent streets. The plan must extend to the center line of all adjacent streets and accurately represent and fully dimension the existing and proposed frontage improvements (curbs, gutters, sidewalks, etc.).
- n. Show the existing and proposed grade elevations of the property (if grade differential on property is greater than three (3) feet).
- o. Provide the location of all utility company equipment including power poles, fire hydrants, and streetlights.
- p. Show the location of any refuse bins, if proposed or required.

5. Parking Analysis:

- a. Review the EMMC's requirements for off-street parking.
- b. For mixed-use projects, review the EMMC's requirements for off-street loading for non-residential uses.
- c. Show all enclosed and open parking spaces. Label dimensions, aisle widths and back-up distances. Number each parking space.
- d. For mixed-use projects, identify which parking spaces are for the residential and non-residential uses. Show how the non-residential will be readily accessible to employees and customers, and how it will be separated from residential parking areas.
- e. Identify any proposed gates to access parking areas. Such gates shall be set a minimum 20 feet within the street property line.
- f. Identify the percentage of the entire property that will be paved and landscaped.
- g. Provide a table showing required parking spaces and how the project complies with the EMMC.

6. Open Space Analysis:

- a. Review the EMMC's requirements for private and common open space.
- b. For residential uses, label, dimension and show square footages of all private open space and common open space areas. For common areas, describe how it will be programmed.
- c. For mixed-use project with non-residential open space requirements, label, dimension and show square footages. Also describe how it will be programmed.
- d. Provide a table showing the required open space and how the project will comply with the EMMC.
- e. For residential uses, enclosed areas can meet a portion of the common open space areas requirements. If this is proposed, add it to the table outlined in #6-d above and provide information on how it will be programmed. Also include a footnote where the enclosed area can be found on the floor plans.

7. Floor Area Analysis:

- a. Review the EMMC’s definition of floor area to verify what counts and does not count towards the maximum Floor Area Ratio (FAR). For examples, up to 650 square feet of garage space per unit is not counted towards FAR, while entrance foyers with a height greater than 17 feet are counted as floor area twice towards FAR.
- b. Provide the total square footage of the subject property prior to and after any required dedication.
- c. Provide the floor area for all existing structures to remain and proposed structures (separating the square footages that count towards floor area and do not count towards floor area).
- d. Provide a table calculating the maximum floor area and how the project will comply with the EMMC.

8. Lot Coverage Analysis:

- a. Review the EMMC’s definition of lot coverage to verify what counts and does not count. For examples, covered patios count. However, if the cover is a trellis that is more than 50 percent open, then it does not count towards lot coverage.
- b. Provide the total square footage of the subject property prior to and after any required dedication.
- c. Provide the square footage for all roofed area of existing structures to remain and proposed structures (separating the square footages that count towards lot coverage and do not count towards lot coverage).
- d. Provide a table calculating the maximum lot coverage and how the project will comply with the EMMC.

PART III. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

7

EXISTING & PROPOSED FLOOR PLANS

The purpose of this worksheet is to obtain information regarding the existing and proposed floor plan. This plan will provide important information on the proposed project and will be closely reviewed for compliance with the El Monte Municipal Code (EMMC).

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

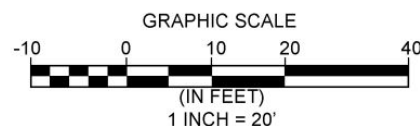
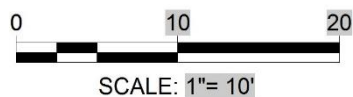
PART II. PLAN SET REQUIREMENTS:

The applicant is responsible for submitting accurate, clear and readable information, maps and drawings. The applicant is responsible for any processing delays caused by inaccurate or unclear information, maps or drawings. The 11 inch x 17 inch drawings will be routed to some City Departments, therefore it needs to be readable and reproducible.

1. **Size of copies of plans:** Six (6) copies at 11 inches x 17 inches.
Two (2) copies at 24 inches x 36 inches.

2. **Drafting Instructions as follows:**

- Scale all plans.
- Provide a bar scale for all drawing to preserve a scale on any reduced versions of the plans (see examples).



- c. Include a north arrow for site orientation for all plan drawings (see examples).



- d. Ensure the area plan and site plan are oriented in the same direction.
e. Include the address of the subject property on each sheet.

3. Floor Plans:

- a. The scale should be 1/4" = 1' scale (unless another scale has been approved by a planner).
- b. Complete floor plans for all existing structures, including structures proposed to be demolished (unless property is vacant or approved to do otherwise by a planner).
- c. Complete floor plans for any revisions to existing structures to remain.
- d. Complete floor plans for all proposed structures.
- e. Show setbacks to all property lines for all floor plan levels. Include dedication lines, if one will be required per the City of El Monte's General Plan.
- f. Show outline and dimensions of any lower levels, if the roofed areas are greater than the specific floor plan level (e.g. to show any step backs, balcony projections, etc.).
- g. Show overall building dimensions to exterior walls and individual room, dimensions.
- h. Label all room identifications ("master bedroom," "dining room," etc.).
- i. Show all window and door locations.
- j. For residential uses, include dimensions and square footages of any porches, balconies and covered or open patios. Label if they are to be calculated as private or common open space areas.

4. Roof Plan:

- a. Provide plans for all roof levels, showing ridge lines, materials and pitches.
- b. Show any roof-mounted equipment and any screening.

5. Dwelling Size Analysis (if applicable):

- a. Review the EMMC's requirements for the minimum dwelling unit size, dependent on the number of bedrooms.
- b. Label the square footage of each unit on the floor plans.
- c. Provide a table showing how the project complies with the EMMC.

6. Multi-tenant Analysis (if applicable):

- a. Review the EMMC's requirements for multi-tenant commercial centers.
- b. Label the square footage of each tenant space on the floor plans.
- c. Provide a table showing how the project complies with the EMMC.

PART III. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

8

ELEVATIONS, MATERIALS & COLORS

The purpose of this worksheet is to obtain information regarding the proposed elevations, materials and colors. Staff will review the elevations to the information provided in Item #4 (Design Guidelines Consistency). This will ensure the proposed architectural design is consistent with the City's Design Guidelines.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

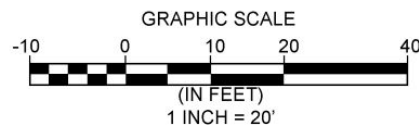
PART II. PLAN SET REQUIREMENTS:

The applicant is responsible for submitting accurate, clear and readable information, maps and drawings. The applicant is responsible for any processing delays caused by inaccurate or unclear information, maps or drawings. The 11 inch x 17 inch drawings will be routed to some City Departments, therefore it needs to be readable and reproducible.

- Size of copies of plans:** Six (6) copies at 11 inches x 17 inches.
Two (2) copies at 24 inches x 36 inches.

2. Drafting Instructions as follows:

- All plans shall be scaled.
- Provide a bar scale for all drawings to preserve a scale on any reduced versions of the plans (see examples).



- c. Label each elevation by both site orientation (front, rear, left side and right side) and direction (North, South, East and West). Since El Monte has many streets that are partly diagonal, label the elevation in the general direction of the street. For example: Temple City Boulevard, Baldwin Avenue, Santa Anita Avenue, Peck Road and Durfee Avenue are north-south streets while Lower Azusa Road, Ramona Avenue, Valley Boulevard and Garvey Avenue are east-west streets.
- d. Include the address of the subject property on each sheet.

PART III. ELEVATIONS:

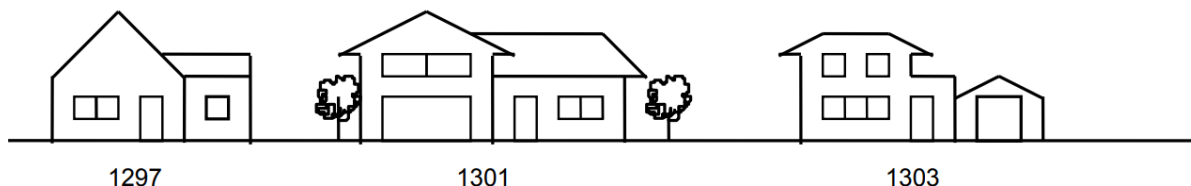
1. Building Elevation Drawings:

- a. Show all existing exterior building elevations, including all windows, doors and roof pitches (even if structures are proposed for demolition). Photographs may be submitted in lieu of elevation drawings, provided they accurately represent the existing conditions. Photographs must be placed and labeled on a sheet in the plan set and must reproduce clearly. Blurry or poorly copied photographs will not be accepted.
- b. Show all proposed exterior building elevations, including all windows, doors and roof pitches.
- c. Provide detailed notations for all materials doors, windows, siding, etc.), listing their type, color and other attributes. In particular, for multi-pane windows, specify the precise type of divided light (true divided light, simulated divided light, snap-in grids, between-the-glass grilles, etc.).
- d. Note the sill heights for all windows (distance from respective finished floor to sill).
- e. Show the existing and finished grade on all elevations of structures.
- f. Show any heights above average natural grade for all floors, eaves and ridges.

2. Streetscape:

- a. Provide a simple silhouette drawing showing a front view of the proposed building and the buildings on each side. If the property is on a corner, views from both streets should be submitted.

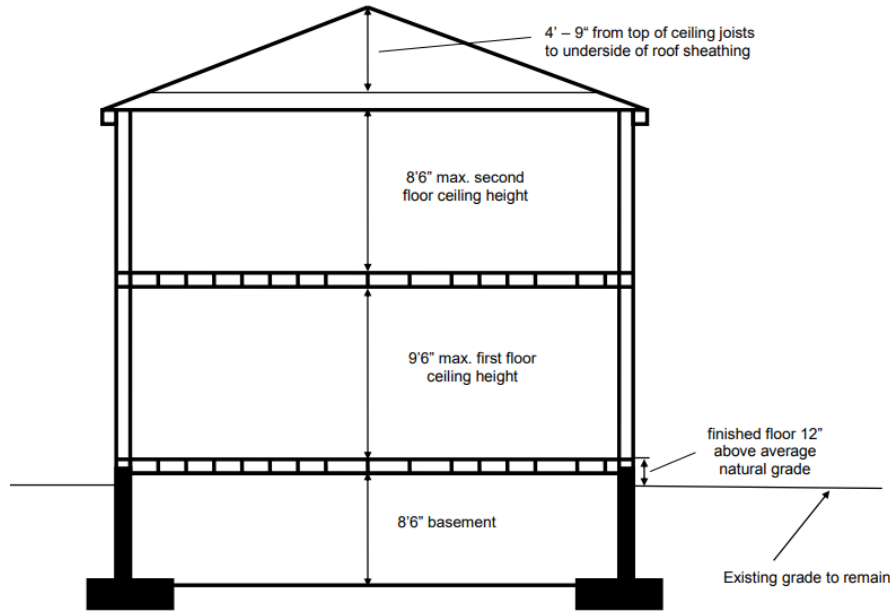
EXAMPLE OF A STREETSCAPE



3. Cross Sections of Building:

- a. At least one cross-section of the building should be included. The drawings should show ceiling heights of each floor (including basements and attics), first story finished floor elevation, base floor elevation (if applicable), and the existing and proposed grade on the property.

EXAMPLE OF A CROSS SECTION



SITE PLAN

1100 ANY STREET

1/8" = 1'

4. Perspective Renderings:

Perspective renderings – Optional for any project and recommended for large/more complex projects. If perspective renderings are submitted, the primary rendering should be as viewed from a public right-of-way at standing eye level.

5. Photographs:

Optional for any project – Photographs of the subject and adjacent properties may be requested for architectural control requests and can be helpful for other types of applications. The address of the property shown in the photographs should be labeled on all photographs. The applicant may be required to provide ten (10) color copies of any photographs for the Director's or Planning Commission's review.

PART IV. COLORS AND MATERIALS:

1. Colors and Materials Board:

Required for all residential projects of two (2) or more dwelling units and other projects that require Design Review. It shall be optional for other projects.

- a. The "Colors and materials Board" shall not be smaller than 11 inches by 17 inches, and not larger than 24 inches by 36 inches.
- b. Mount samples of all exterior materials and colors on the Board. Indicate the supplier and color reference name and number and key all materials and colors to elevation drawings. This shall include but not be limited to the building, walls/fences, windows, wood trim and fascia boards. In addition, it shall include metal elements such as railings and fences, gates and doors. Images from a manufacture's brochure are usually suitable for demonstrating materials such as metal.

2. Colored Elevations:

- a. Provided the following colored elevations:
 - One copy at 11 inches by 17 inches; and
 - One copy at 24 inches by 36 inches.

PART IV. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

10

TREE PRESERVATION

The purpose of this worksheet is to obtain information regarding existing trees on the subject property. Chapter 14.03 of the El Monte Municipal Code (EMMC) is the City's Tree Preservation Ordinance. It outlines the steps needed to assess, preserve and/or remove protected trees as part of a development project.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

PART II. PROTECTED TREES:

1. California Native Trees:

Any species of tree on the list below, with a trunk more than 25 inches in circumference, as measured at 4.5 feet above the root crown is a Protected Native Tree:

- a. *Aesculus californica* (California Buckeye);
- b. *Inus rhombifolia* (California Alder);
- c. *Juglans californica* (California Walnut);
- d. *Platanus racemosa* (California Sycamore);
- e. *Populus femontii* (Cottonwood);
- f. *Populus trichocarpa* (Black Cottonwood);
- g. *Quercus agrifolia* (Coast Live Oak);
- h. *Quercus berberidifolia* (Scrub Oak);
- i. *Quercus chysolepis* (Canyon Oak);
- j. *Quercus engelmannii* (Engelmann Oak);
- k. *Quercus lobata* (Valley Oak);
- l. *Salix lasiolepis* (Arroyo Willow); and
- m. *Umbellularia californica* (California Bay).

2. Heritage Trees:

Any species of tree, which is not a California native that meets one of the following criteria is a Protected Heritage Tree:

- a. Trees with a single-trunk circumference of 36 inches or more as measured at a point 4.5 feet above the root crown;
- b. Trees with multiple trunks that have a combined circumference of 75 inches or more as measured at a point 4.5 feet above the root crown;
- c. Trees with a height of 35 feet or more;
- d. Any collective stand of trees the nature of which makes each dependent upon the others for survival; and
- e. Any other tree may be deemed historically or culturally significant by the City Arborist or Economic Development Director because of its size, connection to the City's history, location or aesthetic qualities.

3. Other Protected Trees:

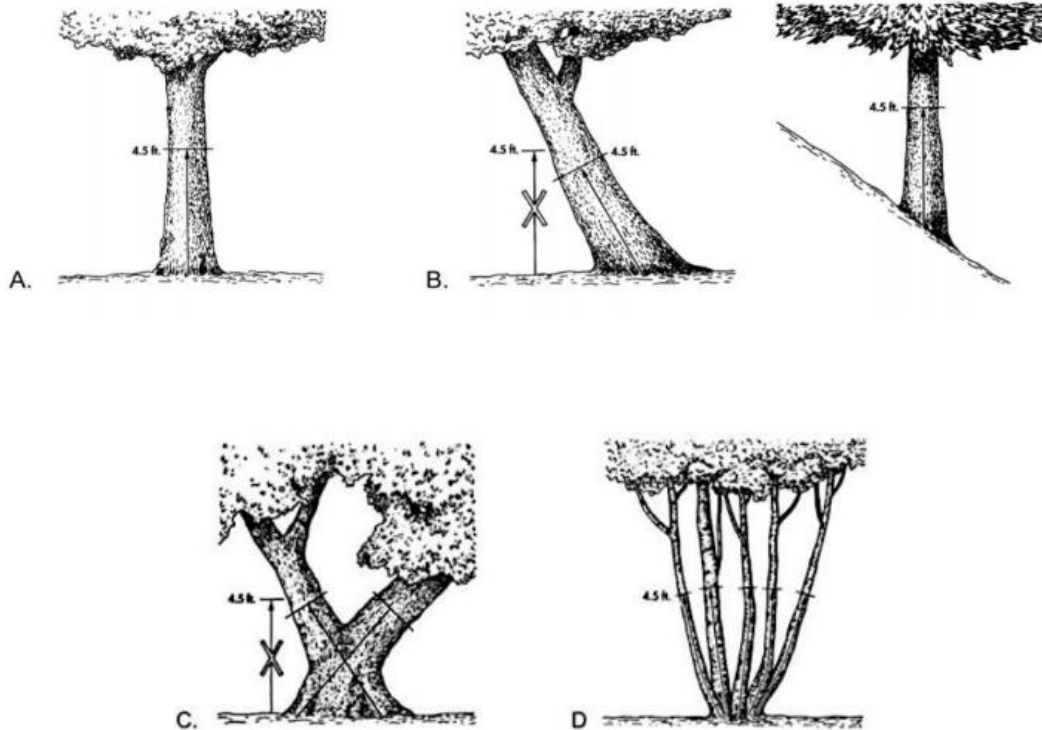
- a. All public trees including street trees.

4. Non-Protected Trees:

- a. All fruit or nut bearing trees.
- b. All species of palm trees.
- c. Trees which are determined by the City Arborist or Director of Public Works that meet one of the following conditions:
 - Are a hazard and/or pose a threat to public safety or personal property;
 - Have caused damage or have the potential to cause damage to public infrastructure;
 - Require maintenance or removal action for the protection of existing electrical power or communication lines or other public utilities; and
 - Encroach on the public right-of-way, and the removal is necessary to obtain adequate line-of-sight distances.

III. MEASURING CIRCUMFERENCE (see illustrations on following page):

- A. Single trunk: Trees with fairly straight, upright trunks should be measured 4.5 feet above the ground.
- B. Trunk on angle or on a slope: The trunk circumference should be measured at right angles to the trunk 4.5 feet along the center of the trunk axis.
- C. Trunk that is low branching: When branching begins less than 4.5 feet from the ground, it should be measured as a multi-trunk tree. Measure each trunk at right angles to the trunk, 4.5 feet along the center of the trunk axis, and add the circumferences together.
- D. Multi-trunk tree: Measure the circumference of all the trunks, each at 4.5 feet from the ground and add the circumferences together.



PART IV. TREE SURVEY:

1. **A Tree Survey Plan:** Identify all protected and non-protected trees on the subject property. Identify all trees that are proposed for removal or that may be affected by the proposed project. The plan shall specify the precise location of the trunk and driplines and size, health and species of all existing Protected Trees.
2. **Arborist's Report:** Provide a report by a certified arborist. The report, based on the findings of the tree survey plan and other necessary information, shall be used to determine the health of existing trees. The effects of the proposed development upon the Protected Trees and recommendations for any special precautions necessary for the preservation of Protected Trees. The report shall identify which Protected Trees are proposed for removal.

PART V. TREE PROTECTION DURING CONSTRUCTION:

1. Tree Protection Plan:

A tree protection plan shall be submitted outlining all of the following actions that should be undertaken prior to the commencement of any construction or demolition activities and until the issuance of a certificate of occupancy or a temporary certificate of occupancy:

- a. Install a sturdy fence at the perimeter of the protected zone of a Protected Tree;
- b. Prohibit excavation, grading, drainage and leveling within the protected zone of a Protected Tree;

- c. Prohibit the storage or disposal of oil, gasoline, chemicals or other harmful materials within the protected zone or in drainage channels, swales or other areas that may lead to the protected zone;
- d. Refrain from any of the unlawful activities set forth under Section 14.03.030 of Urgency Ordinance No. 2791, Tree Protection and Preservation Ordinance;
- e. Design utility services and irrigation lines to be located outside of the protected zone of a Protected Tree to the extent feasible; and
- f. Notify the City Arborist of any serious harm, destruction or other damage that befall a Protected Tree during construction or demolition activities and in no event shall the applicant undertake the removal of any Protected Tree not otherwise slated for removal unless and until the City Arborist has been given the opportunity to inspect the subject tree, evaluate its prospects for survival and issue a written determination as to whether the tree should be allowed to remain or be removed pursuant to an After-the-fact issued permit.

2. Pruning Activities:

- a. Pruning and maintenance of Protected Native and Heritage Trees shall not require a special permit.
- b. Pruning in all cases shall be in conformance with the most current guidelines of the International Society of Arboriculture (ISA) and the American National Standards Institute (ANSI) A-300-Pruning Standards.
- c. Pruning which deviates from these guidelines, such as “Topping,” “Lion’s tailing,” and other types of severe pruning may be subject to fines and penalties.
- d. Pruning of a Public tree is prohibited.

3. Prohibited Activities:

- e. Remove or relocate a Protected Tree without first obtaining a Tree Removal Permit;
- f. Destroy a Protected Tree unless such actions are incident to the authorized removal requiring a Demolition and/or Grading Permit and obtaining a Tree Removal Permit;
- g. Cause serious harm to a Protected Tree which causes imminent death or shortens the normal life expectancy;
- h. Severely prune a Protected Tree that results in the removal of more than (25%) of the foliage;
- i. Engage in improper pruning practices, such as “Lion’s-tailing” or “Topping” of a Protected Tree;
- j. Allow any person to deposit, discharge, release or apply any poison, hazardous material, or toxic substance on or upon the ground within the dripline of a Protected Tree; and
- k. Attach any rope, wire, nails, tacks, staples, advertising posters, or other contrivance.

PART VI. TREE REPLACEMENT POLICY:

1. All removed trees shall be replaced with a tree ratio of 2:1.
2. A minimum of two, 36-inch box trees shall be planted on the subject property or adjacent public right-of-way, for every tree removed or an in lieu fee may be paid into the Tree Mitigation and Planting Fund for each replacement fee.

PART VII. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

11

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The purpose of this worksheet is to obtain information regarding certain environmental aspects of a proposed project. This form does not replace environmental analysis that may be required under the California Environmental Quality Act (CEQA). Please include documentation supporting your answers. Attach additional sheets as needed, for any reply.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

PART II. PROJECT INFORMATION:

1. Size of parcel: _____ 2. Width: _____

3. General Plan designation: _____ 4. Zoning: _____

5. Proposed project type (check all that apply):

- | | | |
|--|---------------------------------------|---|
| <input type="checkbox"/> Single-family residential | <input type="checkbox"/> Rental units | <input type="checkbox"/> Ownership units |
| <input type="checkbox"/> Two-family residential | <input type="checkbox"/> Mixed-use | <input type="checkbox"/> Affordable housing |
| <input type="checkbox"/> Multi-family residential | <input type="checkbox"/> Other _____ | |

6. Residential project description. Indicate number of units, unit sizes/bedrooms, square footages of units, if affordable include number of affordable units and income levels.

7. Non-residential portion of mixed-use project description (if applicable). Identify the proposed non-residential use(s), number of tenant spaces and square footages.

8. Will the project remove any existing occupied housing? No Yes

If yes, do the units meet the definition of “affordable housing units” per State Government Code XYZA? No Yes

If yes, to either of the above, explain how the project will comply with ABC and ZYZ.

9. Proposed construction schedule? Will it be developed in phases? No Yes, describe.

10. Describe the project site as it currently exists, including information on topography, plants and animals and any cultural, historic or scenic aspects. Describe any existing structures on the site and their uses.

11. Is the property designated as a hazardous waste site by the Department of Toxic Substances Control? <https://dtsc.ca.gov/dtscs-cortese-list/>

No Yes

12. List any proposed point sources of air or water pollutants:

13. List any species of concern known to inhabit the property:

14. Does the project need approval from other public agencies?

No Yes, Los Angeles County Fire Yes, other public agencies. List below.

15. Have California Native American tribes traditionally and culturally affiliated with the area requested consultation pursuant to Public Resources Code Section 21080.3? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

No Yes. If yes, summarize what information is currently known and the proposal to address tribal concerns.

16. Does the project include a renewable energy feature?

No Yes. If yes, describe feature(s). If no, explain why it is not feasible to do so.

17. Are there any public transit stops within 1/8-mile of the property?

No Yes. If yes, attach a map(s) to illustrate the proximity to the following:

A. Within 1/8-mile of property: Bus stops, lines and headway times during the morning and afternoon peak periods (6:00 AM to 9:00 AM and 4:00 PM to 7:00 PM).

B. Within 1/4-mile: El Monte Metrolink Station and/or El Monte Bus Depot (if applicable).

C. Within 1/2-mile of property: Major transit stops as defined in **Government Code XYZ**, including bus stops, bus lines and headway times during the morning and afternoon peaks (if applicable, for projects subject to the **Affordable Housing Crisis Act of 2019 and XYZ**).

18. Are there any existing and/or proposed bicycle lanes in the vicinity of the property?

No Yes. If yes, attach a map(s) to illustrate the proximity to the following:

A. Within 1/8-mile of property: Identify all existing and proposed Class II and Class III Bicycle lanes.

B. Within 1/2-mile of property: Identify all existing Class I Bicycle Lanes, as well as existing and proposed connections.

19. Does the project have the potential to result in any of the following? For questions that are checked with a Yes, please attach additional sheets and explain.

A. Change in existing features of the land, including a substantial alteration of ground contours?	<input type="checkbox"/> Yes <input type="checkbox"/> No
B. Change in scenic views or vistas from existing residential areas or public lands and roads?	<input type="checkbox"/> Yes <input type="checkbox"/> No
C. Change in patterns, scale or character of general area of project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
D. Significant amounts of solid waste or litter?	<input type="checkbox"/> Yes <input type="checkbox"/> No
E. Change in dust, sash, smoke, fumes or odors in vicinity?	<input type="checkbox"/> Yes <input type="checkbox"/> No
F. Change in ground water quality, or alteration of existing drainage patterns?	<input type="checkbox"/> Yes <input type="checkbox"/> No
G. Substantial change to existing noise or vibration levels in the vicinity?	<input type="checkbox"/> Yes <input type="checkbox"/> No
H. Site on filled land or slope of ten (10) percent or more.	<input type="checkbox"/> Yes <input type="checkbox"/> No
I. Use disposal of potentially hazardous materials?	<input type="checkbox"/> Yes <input type="checkbox"/> No
J. Significant increase in demand for police services?	<input type="checkbox"/> Yes <input type="checkbox"/> No
K. Significant increase in demand for fire services?	<input type="checkbox"/> Yes <input type="checkbox"/> No

- L. Significant increase in demand for water services? Yes No
- M. Significant increase in demand for sewage services? Yes No
- N. Significant increase in demand for school services? Yes No
- O. Significant increase in demand for fossil fuel consumption (electricity, oil, natural gas, etc.) Yes No

20. Have any of the following studies been completed? For questions that are checked with a Yes, please attach copy of study to application.

- A. Phase I environmental study? Yes No
- B. Phase II environmental study? Yes No
- C. Vehicles Miles Traveled (VMT) screening assessment? Yes No
- D. VMT analysis for traffic impacts? Yes No
- E. Level of Service (LOS) analysis for traffic impacts? Yes No
- F. Shade and shadow study if a Variance or Concession is requested to exceed height limits in the Zoning Code? Yes No
- G. Lighting study? Yes No
- H. Tree survey for all on-site trees proposed for removal? Yes No
- I. Air quality study? Yes No
- J. Noise study? Yes No
- K. Hydrology study? Yes No
- L. Health risk assessment study (for residential within 500 feet of a freeway)? Yes No
- M. Any other environmental studies of interest? Yes No

PART III. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

12

HISTORIC EVALUATION

A Request for Evaluation for Potential Historic Significance must be submitted concurrently with some applications for Design Review or Planning Commission review. Please see a planner to verify whether your application requires this form. The purpose of this request is to determine if a formal historic evaluation will be required to conduct an environmental evaluation for potential historic significance under the California Environmental Quality Act (CEQA). All qualifying applications must complete Parts I and IV, with Parts II and III only required when certain criteria are met.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

3. Date of construction (based upon submitted property record): _____

4. Is the property 50 years or older?

No Yes

Please note that the 50-year age reference is a discretionary guideline; there are circumstances where a property less than 50 years old may be potentially significant and applicants may be required to submit supplemental documentation. If yes, applicants are required to submit Part II of this form, including photographs of each elevation of the subject property and any related outbuildings and/or associated features.

5. Has this property received any historic recognition and/or designation?

No Yes.

If yes, check the categories that apply and attach any additional information.

- El Monte Vision 2011 General Plan
- El Monte Historical Society Museum
- Downtown Main Street Historic Context Survey
- California Historic Landmark
- California Register of Historical Resources

PART II – IDENTIFICATION OF PROPERTIES FOR POTENTIAL HISTORIC SIGNIFICANCE:

If the property is 50 years or older and/or a designated historical resource, complete the following questions which will assist the Planning Division in making a preliminary determination whether the property potentially meets the threshold of significance according to the California Environmental Quality Act (CEQA). Properties that are eligible for listing in the California Register of Historical Resources must be given consideration in the CEQA process.

1. Have state historic resource inventory forms ever been completed for the property?

No Yes. If yes, attach a copy of the inventory form.

2. Property Type (check one):

- Residential
- Commercial
- Industrial
- Office
- Mixed-use
- Other _____
- Office

3. Name of architect or builder (if known): _____

4. Architectural style: _____

5. Number of stories: One Two Three Greater than three

6. Principal building materials:

Roof: _____

Exterior walls: _____

Foundation: _____

7. Roof type: Hip Front, side or cross gable Flat Shed Gambrel

8. List any outbuildings and associated features location on the property , and their dates of construction (i.e. garage, shed, architect-designed landscape):

9. Has the property and/or associated feature(s) ever been altered or moved?

No Yes. If yes, summarize the history of any physical changes to the property, including significant alteration dates. From what location was the structure moved?

10. Does the property have any known association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States?

No Yes. If yes, please explain (attach additional sheets, if necessary).

11. Does the property have any known association with the lives of persons important to local, California or national history?

No Yes. If yes, please explain (attach additional sheets, if necessary).

12. Does the property retain distinctive characteristics of a type, period, region or construction method, or represent the work of a master or possess high artistic values?

No Yes. If yes, please explain (attach additional sheets, if necessary).

13. Has the property yielded or does it have the potential to yield information important to the pre-history or history of the local area, California or the nation?

No Yes. If yes, please explain (attach additional sheets, if necessary).

14. Photographs. Attach a minimum of four (4) color photographs clearly depicting each elevation of the property. Photographs should be presented at a minimum 4" x 6" size, on letter-size sheets. The photographs should depict entire elevations of the structure(s). Additional photographs of details such as windows or doors are helpful to understand construction methods or distinctive characteristics of the structure. Any related outbuildings and/or associated features require additional photographs.

PART III – SITE SPECIFIC HISTORIC RESOURCES STUDY:

If it is determined that a site-specific historic resources study is required, the study shall be prepared by a qualified architectural historian meeting the Secretary of the Interior’s Standards for Architecture or Architectural History. At a minimum, the study shall consist of a records search of the California Historical Resources Information System, an intensive-level pedestrian field study, an evaluation of significance using standard National Register Historic Preservation and California Register Historic Preservation evaluation criteria and recordation of all identified resources.

PART IV. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature

Date

Property Owner/Representative Name (Print)

CITY OF EL MONTE

Community & Economic Development Department

13

ECONOMIC BENEFITS

The purpose of this worksheet is to obtain information regarding the economic benefits of the project to the community. This information is gathered to better understand the positive impacts of the project. It shall not be the main factor of the City of El Monte's review process to approve or deny an application.

PART I. PROPERTY INFORMATION:

1. PROPERTY LOCATION:

Street Address

Assessor Parcel Nos. (APNs)

2. CONTACT PERSON:

Name

Phone No.

Street/City/Zip

Email Address

PART II. ECONOMIC BENEFITS SUMMARY:

1. Residential project description. Indicate number of units, unit sizes/bedrooms, square footages of units, if affordable include number of affordable units and income levels (attach additional sheets, if necessary).

2. Identify the estimated sales prices or rents for the market rate and/or affordable housing units.

3. Non-residential portion of mixed-use project description (if applicable). Identify the proposed non-residential use(s), number of tenant spaces and square footages.

4. Indicate the number of construction jobs that would be created if the project should be developed. _____
5. Indicate the number of permanent jobs that would be created if the project should be developed. _____
6. Indicate the current assessed valuation of the property. _____
7. Indicate the estimated assessed valuation of the property after the project is built. _____
8. Indicate the projected sales tax resulting from the project. _____

PART III. IMPACT FEES:

1. Residential impacts. This worksheet is meant to inform applicants on the different impact fees in the City of El Monte. This is not meant to be an exhaustive list. Note there are different rates for single-family and multi-family. The final amount will not be “locked-in” until the Preliminary Application has been deemed complete.

<i>Residential Impact:</i>	<i>Rate Per Unit:</i>	<i># of Units:</i>	<i>Estimated Amount:</i>
A. Sewer impact fee.			
B. Storm drain impact fee.			
C. Street impact fee.			
D. Park facility impact fee.			
E. Traffic impact fee.			
F. 2.08% Tech fee (on Items #A through #E).			
G. Quimby fee (for new subdivisions only).			
H. Public art fee.			
I. School impact fee.			
<i>Total:</i>			

2. Non-residential impacts. This worksheet is meant to inform applicants on the different impact fees in the City of El Monte. This is not meant to be an exhaustive list. Note some uses have different rates for the same impact. The final amount will not be “locked-in” until the Preliminary Application has been deemed complete.

<i>Non-Residential Impact:</i>	<i>Rate per Square Foot:</i>	<i>Project Square Footage:</i>	<i>Estimated Amount:</i>
A. Sewer impact fee.			
B. Storm drain impact fee.			
C. Street impact fee.			
D. Traffic impact fee.			
E. 2.08% Tech fee (on Items #A through #D).			
F. Public art feet.			
<i>Total:</i>			

PART IV. PROPERTY OWNER/REPRESENTATIVE SIGNATURE:

By signing this application, I hereby acknowledge that the information contained herein, or subsequently submitted, is true and correct to my knowledge.

Property Owner/Representative Signature Date

Property Owner/Representative Name (Print)