



AGENDA

ART IN PUBLIC PLACES ADVISORY COMMITTEE

TUESDAY, OCTOBER 10, 2017

5:00 PM

CONFERENCE ROOM A

CITY HALL WEST

11333 VALLEY BOULEVARD

CITY OF EL MONTE ART IN PUBLIC PLACES ADVISORY COMMITTEE

Maria Morales
Planning Commissioner

Cesar Peralta
Planning Commissioner

Pauline Cazares
Resident

Mike Gomez
Resident

Ronald Ishigaki
Resident

OPENING OF MEETING

1. Call Meeting to Order
2. Flag Salute
3. Roll Call

ITEM FOR CONSIDERATION

1. **Garvey Square (Art in Public Places No. 03-17)
"El Monte Flower Designs"**
 - Applicant: Garvey Peck, LLC
 - Address: 11401 Garvey Avenue
(Northeast corner of Peck Road and Garvey Avenue)
 - Artist: Bunnie Reiss, These Days
 - Description: Two (2) exterior painted murals
 - Dimensions: 15'-6" by 15'-6"
2. **Committee Comments**
3. **Adjourn**

TO: ART IN PUBLIC PLACES ADVISORY COMMITTEE

FROM: MINH THAI
ECONOMIC DEVELOPMENT DIRECTOR

JASON C. MIKAELIAN, AICP
CITY PLANNER

BY: REBECCA CONTRERAS
CONTRACT PLANNER

SUBJECT: ART IN PUBLIC PLACES NO. 03-17
(EL MONTE FLOWER DESIGNS)

LOCATION: 11401 GARVEY AVENUE

**APPLICANT/
PROPERTY OWNER:** GARVEY PECK, LLC
335 N. BERRY STREET
BREA, CA 92821

**ENVIRONMENTAL
DETERMINATION:** ARTICLE 19. CATEGORICAL EXEMPTIONS – CLASS 3,
SECTION 15303 (NEW CONSTRUCTION OR
CONVERSION OF SMALL STRUCTURES) IN
ACCORDANCE WITH THE REQUIREMENTS OF THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT OF 1970
AND THE CEQA GUIDELINES

RECOMMENDATION: RECOMMEND CITY COUNCIL APPROVE ART IN PUBLIC
PLACES NO. 03-17

DESCRIPTION OF REQUEST

The applicant requests the approval of Art in Public Places No. 03-17. The proposed art project “El Monte Flower Designs” is in connection with the new Garvey Square mixed-use development at the northeast corner of Garvey Avenue and Peck Road and will comply with Art in Public Places Program Chapter 15.07 of the El Monte Municipal Code (EMMC).

The mixed-use project includes a commercial building at the street corner, a vertical mixed-use building and 114 townhouse units. The art pieces will consist of two (2) murals by Bunnie Reiss, These Days. The murals will be hand-painted using fade-resistant, high quality mural paint. The large-scale public art will be 15'-6" x 15'-6" each and will be located on the exterior wall of the commercial building's east elevation. According to the artist, the mural was inspired by the colorful indigenous flowers of the

western San Gabriel Valley such as Wild Hyacinth, Clarkia, Wishbone Bush and Desert Columbine. The design is the artist's stylized version of the colorful flowers and will be painted on the wall to give a wallpaper effect. The mixed-use development was approved by the City Council in September 2014 and is currently under construction.

STAFF ANALYST

This will be the third public art project that the Committee has reviewed in 2017. The other art projects included a fountain at the Santa Fe Trail Plaza (northeast corner of Valley Boulevard and Santa Anita Avenue) and a bronze sculpture at the Magellan Gateway project (on the west side of Temple City Boulevard). The proposal mural for the Garvey Square project will expand the program to include a different type of art (painted murals) in a new portion of the City (the southeast).

The modern colorful design of the murals will complement the building architecture and will incorporate colors that will be exhibited in the project's landscaping. The murals will be located on the building's east elevation, framing both sides of a main building entrance. Building signage along that elevation will be minimal, avoiding any possibility of visual clashing. The southern mural will be placed in front of a small outdoor plaza area (as conditioned by staff). Although a parking area will be to the east of the murals, they will be highly visible from Garvey Avenue and placed behind a pedestrian plaza to better connect the corner commercial building to the rest of the mixed-use project (as it will directly face the vertical mixed-use building to the east).

CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval for the Public Places No. 03-17:

1. The project shall substantially conform to Art in Public Places No. 03-17 project plans presented to the Art In Public Places Committee on October 10, 2017 and City Council on _____, and as conditioned herein.
2. The Art in Public Places No. 03-17 approval shall be effective for a period of twelve (12) months from the date of effective approval thereof unless the applicant has obtained building permits or has timely requested a time extension.
3. The project shall comply with the El Monte Art in Public Places Program, Chapter 15.07 of the El Monte Municipal Code (EMMC), including but not limited to the following:
 - a. The art work shall be maintained by the property owner in a safe, neat, clean and orderly manner acceptable to the city. The art work shall also be maintained in good repair.
 - b. Prior to the issuance of building permits, the property owner shall execute and record with the Registrar-Recorder/County Clerk for the county of Los Angeles, covenants, conditions and restriction in the form and content approved by the Economic Development Director and the City Attorney providing, among other things:

- i. That the property owner, its successor and assigns and all subsequent owners of the underlying real property shall maintain the art work as required by subsection 15.07.050(G) of the EMMC ;
 - ii. That the property owner shall indemnify, defend and the hold the city, its elected and appointed officials, officers, employees, volunteers and related parties harmless from any and all claims or liabilities arising out of the art work; and
 - iii. That owner shall provide the City Clerk's office with a certificate of public liability insurance naming the city as an additional insured including such coverage and liability limits as may be specified by the Economic Development Director.
4. The art work shall be displayed in an area that is open and freely accessible to the public for at least ten (10) hours each day or displayed in a manner which otherwise provides public accessibility in an equivalent manner based on the characteristics of the art work or its placement on the site.
5. A marker or plaque shall be installed in the vicinity of the mural. The marker or plaque shall include the following: the art title, artist, the date installed and identify that the art is part of the "El Monte Art In Public Places Program."
6. Provide a lighting plan for the murals. The lighting should be on an automatic timer.
7. The applicant shall work with staff to incorporate a plaza/open space area in front of the southern mural to provide seating and landscape areas.
8. The project's camera security plan shall incorporate features to secure/protect the new plaza area and murals.

RECOMMENDATION

Staff recommends that the Art in Public Places Advisory Committee evaluate the proposal and consider the following Action:

1. Adopt a Categorical Exemption under Section 15303 (Class 3 – New Construction or Conversion of Small Structures) pursuant to the California Environmental Quality Act and Guidelines, as amended, and;
2. Adopt the Finding of Facts to recommend the City Council approve Art in Public Places No. 03-17, subject to the conditions of approval.

ATTACHMENTS:

- A. Application
- B. Project Plans

City of El Monte

Planning Division

11333 Valley Boulevard
El Monte, CA 91731
P: (626) 580-2090
F: (626) 258-8628
<http://www.elmonteca.gov>



ART IN PUBLIC PLACES APPLICATION (FORM A)

(This Section for Planning Use Only) Received By: Cristina Date Received: 3-28-17 Case No. APP-03-17

Applicant's Name: Garvey Peck LLC

Address: 335 N. Berry Street, Telephone Number: (714)990-5677 Fax Number: (626)243-4823
City: Brea Zip Code: CA 92821 Email: tajenlee@yahoo.com

Contact Person: Jeff Lee

Address: 335 N. Berry Street, Telephone Number: (626)255-7442 Fax Number: (626)243-4823
City: Los Angeles Zip Code: CA 90067 Email: tajenlee@yahoo.com

Property Owner's Name: Garvey Peck LLC

Address: 335 N. Berry Street, Telephone Number: (714)990-5677 Fax Number: (626)243-4823
City: Brea Zip Code: CA 92821 Email: tajenlee@yahoo.com

Project Address: North East corner of Peck Road and Garvey Street

Assessor's Parcel Number: 8566-011-031 & 8566-033-032

Present Use of Property/Existing Improvements: Vacant Land

Title of Art Piece: See Attached

Selling Price (Includes Consultant Fees):

Artist: Bonnie Reiss

Media: Painted Wall Murals

Description of Art Piece: See Attached

Location of Art Piece (be specific): 2 Murals on corner Retail Building East Elevation (See Attached)

Description of Art Foundation or Base (if applicable): Smooth Stucco Wall

Distance Between Public Street and Art Piece: 30 Feet

Anticipated Installation Date: Oct 2017

City of El Monte

Planning Division
 11333 Valley Boulevard
 El Monte, CA 91731
 P: (626) 580-2090
 F: (626) 258-8628
<http://www.elmonteca.gov>



PROPOSED BUDGET

1.	Valuation of Project (To be obtained from the Building Division)	\$	20,402,129.00
2.	1% Art in Public Places Minimum Requirement	\$	204,021.29
<hr/>			
A.	Artist Design:	\$	50,000.00
B.	Artwork Material:	\$	10,000.00
C.	Fabrication:	\$	60,000.00
	Subtotal (Items A through C)*	\$	120,000.00
D.	Art Consultant:	\$	40,000.00
E.	Transportation of Artwork:	\$	N/A
F.	Contractor or Base:	\$	12,000.00
G.	Structural Engineering:	\$	N/A
H.	Lighting/Electrical:	\$	3,000.00
I.	Water Related Expenses:	\$	N/A
J.	Art Appraisal:	\$	2,000.00
K.	Other Expenses (List Below):	\$	
	<u>Protective Polymer Shield</u>	\$	20,000.00
	<u>Protective Scaffold + Fence</u>	\$	10,000.00
		\$	
		\$	
	Subtotal (Items D through K):	\$	87,000.00
	Total Cost:	\$	207,000.00

*NOTE: Subtotal of Items A through C must equal or exceed the amount in Item 2.



September 28, 2017

Garvey Peck, LLC
335 N Berry Street
Brea CA 92821

PROJECT

Large-scale public art commission for two 15'6"x15'6" exterior building walls of the Garvey Square Retail Development. The El Monte project is a redevelopment opportunity situated at the intersection of Peck Road and Garvey Avenue in the city of El Monte, CA. This site is designated MMU (Mixed / Multi-Use) which allows for a flexible, site-specific installation.

NARRATIVE

Historically, El Monte's residents used to claim that anything could be grown in the area. This was mostly due to the location, at the end of the Santa Fe Trail, situated between the San Gabriel and Rio Hondo Rivers, where soil is rich and land is fertile. With Angeles National Forest backing up to the town, the area can at times be blanketed with some of Southern California's most beautiful flowers.

Indigenous flowers such as Wild Hyacinth, Clarkia, Wishbone Bush and Desert Columbine are just some of the colorful flowers native to the area. Many different shades of purples, pinks, oranges sprinkle the hillside in the spring, and are vibrant against the blue skies. I wanted to highlight this image, and in a way honor it with a type permanency. Shapes have been stylized with my own creative eye to build a kind of wallpaper effect, blanketing the side of the building in a similar way the flowers sometimes tend to blanket the hillside.

INSTALLATION PROCESS

Mural will be hand-painted with fade-resistant, high-quality mural paint. In addition, it will be treated with a coating at the end to keep it extra weather resistant, graffiti resistant, etc.

LANDSCAPING

Mural colors have been chosen to work closely with the landscape, using complimentary colors to highlight areas. The yellows in the lantana hybrids, which will be part of the ground cover, will highlight the purples and the blues in the mural. The 'Lily of the Nile' shrub is a beautiful purple/blue, and will match the shades of the mural color palette.

THESE DAYS / WHO WE ARE

These Days is an art gallery located in downtown Los Angeles owned and operated by Stephen and Jodi Zeigler. Since 2010 the pair have presented over 25 gallery exhibitions, in addition to curating and producing numerous public art installations. They have been recognized by The Mural Conservancy of Los Angeles for their work on the historic "Indian Alley" project and have produced large scale installations for low income housing developers Clifford Beers Housing.

ARTIST STATEMENT / BUNNIE REISS

"I have always created to bring people together. Materials, community, cultures, experiences, the past and the present, are all part of my visual catalog. I consider my murals and larger installation work to be a spell, an offering, or a place for communities and people to gather. Since we have a real opportunity to build a unique visual history of what is going on with our world, I look at murals as modern day cave paintings. Our simple and deep need to communicate what we think is important, and what message we want to leave behind, is a primal need much bigger than ourselves. As technology advances and the human condition gets more confused on how it is we are supposed to interact with one another, murals and large public installation that bring people together are imperative to keeping this world going. I'd like to be a storyteller in part of that larger book. I'd like to be the time-traveler that helps people to remember to talk to one another. And most importantly, I want to use my skill as an artist to leave this world better than it was before I became a part of it."



ARCHITECTS RENDERING



BUILDING B EAST ELEVATION
SCALE 1" = 1'-0"

LANDSCAPE ARCHITECTS RENDERING

PLANT LEGEND						
SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QTY.	SIZE	REMARKS	WATER USE FACTOR
TREES (PER WUCOLS REGION 4)						
LAG IND		LAGERSTROEMIA INKERA X FAUREI NATCHOZEY / NATCHOZE CRABAPPLE	9	24" BOX	SEE DETAIL 'P', SHEET L4-2	LOW PLANT FACTOR 0.5
LOP COB		LONHSTONIA CONFERTUS / BRISBANE BOX	4	24" BOX		MOD. PLANT FACTOR 0.5
SHRUBS (PER WUCOLS REGION 4)						
AGALNTR		AGAPANTHUS A. 'REDER PAN' / 'LILY OF THE MILK	37	1 GALLON	SEE DETAIL 'Q', SHEET L4-2	MOD. PLANT FACTOR 0.5
CAVIM		CALISTEMON VINCULUS LITTLE JONNY / DWARF LEMON BOTTLE BRUSH	20	5 GALLON		MOD. PLANT FACTOR 0.5
HEM HYB		HEMIBELOIS HYBRIDS / YELLOW EVERGREEN DAYLILY	30	1 GALLON		LOW PLANT FACTOR 0.3
LEG TEX		LEIGUSTRUM JAPONICUM 'TEANUM' / WAXLEAF PRIVET	16	5 GALLON		MOD. PLANT FACTOR 0.5
MAW COM		MAHONIA AQUIFOLIUM 'COMPACT' / COMPACT OREGON GRAPE	15	5 GALLON		MOD. PLANT FACTOR 0.5
PF CRE		PITTOSPORUM T. 'WHEELERS DWARF' / VARIEGATED TOBIA	28	5 GALLON		MOD. PLANT FACTOR 0.5
RH IND		RHAPHILOPSIS CLARA / WHITE INDIAN Hawthorn	26	5 GALLON		MOD. PLANT FACTOR 0.5
RH BAL		RHAPHILOPSIS BALLENERA / BALLENERA INDIAN Hawthorn	10	5 GALLON		MOD. PLANT FACTOR 0.5
BIG-SWALE (PER WUCOLS REGION 4)						
CARDY		CAREX DIVALSA / BERKELEY SEDGE	34	1 GALLON	SEE DETAIL 'P', SHEET L4-2	MOD. PLANT FACTOR 0.5
CHO TEC		CHONDRILOPETALUM TECTORIUM / SMALL CARET TULSH	15	1 GALLON		MOD. PLANT FACTOR 0.5
JUN PAT		JUNCEUS PATENS / WIRE GRASS	42	1 GALLON		MOD. PLANT FACTOR 0.5
NO MOW		NO MOW FINE FESCUE ORNAMENTAL GRASS AVAILABLE THROUGH PACIFIC SOD (800) 942-5298	-	SOD		MOD. PLANT FACTOR 0.5
VINES (PER WUCOLS REGION 4)						
DB RM		CAMPIDIS GRANDIFLORA / CHINESE TRUMPET CREEPER REMOVE FROM STAKE & SECURE TO WALLS	-	1 GALLON	SEE DETAIL 'R', SHEET L4-2	MOD. PLANT FACTOR 0.5
GROUND COVER (PER WUCOLS REGION 4)						
LAV HYB		LANTANA HYBRIDS 'GOLD RUSH' / TRAILING LANTANA FROM 1 GALLON CONTAINERS TRIANGULAR SPACE 18" O.C.	-	1 GALLON	SEE DETAIL 'S', SHEET L4-2	LOW PLANT FACTOR 0.3
D.G.		TAN FINES 1/2" MINUS DECOMPOSED GRANITE TO BE INSTALLED TO DEPTH 2" THROUGHOUT ALL PLANTER AREAS EXCEPT WHERE THE 'NO MOW' SOD IS INSTALLED.	-	CU. YD.		

NOTE: PLANT COUNT IS FOR CONTRACTOR CONVENIENCE ONLY AND MUST BE VERIFIED WHILE PREPARING INSTALLATION PROPOSAL. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

PLANTING NOTES:

1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SCHEDULE.

2. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SCHEDULE.

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10. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SCHEDULE.

NURSERY STANDARD NOTES:

1. ALL PLANTS SHALL BE SUPPLIED TO THE SITE IN FULL GROWTH AND HEALTHY CONDITION.

2. PLANTS SHALL BE SUPPLIED TO THE SITE IN FULL GROWTH AND HEALTHY CONDITION.

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COMPLIANCE NOTE:

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PECK ROAD

BLDG B RETAIL

GARVEY AVENUE

LANDSCAPE ARCHITECT

140012 GARVEY STREET, EL MONTE, CALIFORNIA



ARTISTS RENDERING | Panel I



ARTISTS RENDERING | Panel II





INDIGENOUS FLORAL INSPIRATION



Desert Columbine



Wishbone Bush



Wild Hyacinth



Golden Aster



CONFIDENTIALITY

Confidential information is that which relates to the Client or These Days' research, development, trade secrets or business affairs and includes concepts presented to, but not selected by, the Client; it does not include information that is generally known or easily ascertainable by non-parties. These Days and the Client shall mutually respect and maintain each others confidential information and shall use it only to perform hereunder. All materials created by the Artist for These Days, including preliminary and final products, shall remain the property of the Artist and These Days. The Client will be granted use of the final product, as outlined, upon payment in full of the final invoice. No preliminary concepts or visuals may be used by the Client without These Days written permission.

CONTACT / THESE DAYS

JODI ZEIGLER

1 310 422 6231

jodi@thesedaysla.com



CURRICULUM VITAE / BUNNIE REISS

Artist Portfolio:
www.bunniereiss.com

Education:

- June 2008-May 2011: San Francisco Art Institute, San Francisco, California
Master of Fine Arts, emphasis painting
Valedictorian
• January 2008-May 2008: Pont-Aven School of Contemporary Art, France
Course work with focus on painting
• 1993-1997: University of Northern Colorado, Greeley, Colorado
Bachelor of Liberal Arts, English/Journalism

Work:

- Working Artist, 2003-present
Fine art painter, muralist, quilter and installation artist, working and showing both nationally and internationally
• Low-Residency MFA Graduate Studio Mentor for Pacific Northwest College of Art and Design 2014-present
Guided study and studio meetings with graduate students who attend the summer grad program at PNCA
• San Francisco Day School, 2011-2015
Resident Artist
Costume class instructor for after school program
Mural class instructor for after school program
Instructor for week-long summer camp 'Art Farts'
• Ruby The Art Van, 2009-2014
One-on-one mobile art classes based on recyclable/reusable materials, taught out of my 1985 Volkswagen bus.
• One Hat One Hand, Freelance Artist, 2008-2014
Set design, building and production of both small and large scale art projects.
We are a group of artists who have been friends and working together for over a decade.

Mural Projects:

- 2016 Le Basse Mural Project, Manila, Philippines
Black Cat Alley Mural Project, Milwaukee, Wisconsin
Black List/Little Tokyo Mural Project for the LA Marathon, Los Angeles, California
Evil Twin Book Agency Mural Project, Philadelphia, Pennsylvania
2015 Recycle Here Mural Project, Detroit, Michigan
Wellington Court Mural Project, Queens, New York

Fellowships:

- 2008 Son Francisco Art Institute Full Graduate Fellowship
2007 San Francisco Art Institute Full Merit Fellowship

Residencies:

- 2015 PSKaufman LA Studio, AIR program, Los Angeles, California
OklaJara Mural residency, Guadalajara, Mexico
2014 A-Typical Art Mural residency, Florence, Italy
The Viewing Box Drawing Campaign and residency, Oakland/Brooklyn/Detroit
San Francisco Day School, AIR program San Francisco, California
2013 St. Vincent Du Paul/Redux Studios & Gallery, AIR program, Oakland, California
2011 SFMOMA, AIR program, Education Department, San Francisco California
2009 Vermont Studio Center, AIR program, Johnson, Vermont

Solo Exhibitions:

- 2015 The Cosmic Child, Campfire Gallery, San Francisco, California
2014 Pussy Cats & Their Friends, Resurrect, Oakland, California
Block-Gallery, Oakland, California
World Without End, Redux Studios & Gallery, Alameda, California
2013 The In Between, Redux Studios & Gallery, Alameda, California
2011 Elle a eu beaucoup de chance, Jellyfish Gallery, San Francisco, California
2009 The Little One's, Boneflowers, San Francisco, California
Various Works from Pont-Aven, The Press Club, Portland, Oregon
2007 All over the road, Sometime Gallery, Oakland California
Kitchen's-Ink, Denver, Colorado
2006 I'm over here, Cafe International, San Francisco, California

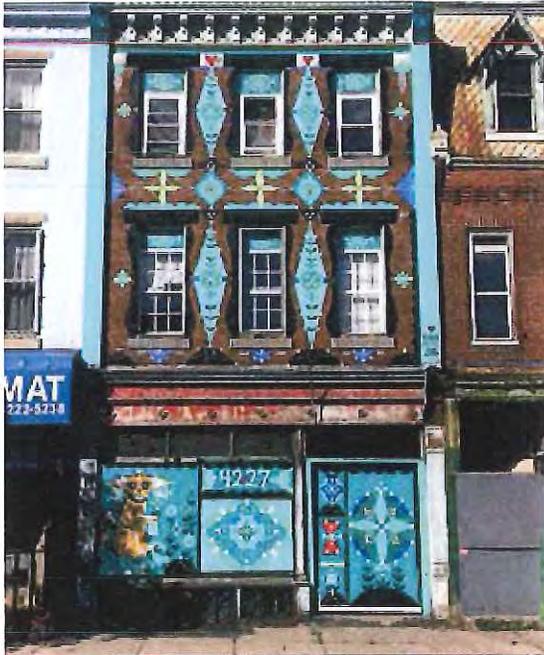
Group Exhibitions:

- 2016 Pretty/Peculiar, Alison Milne Gallery, Toronto, Ontario
Annual East Bay All Stars, Nielson Arts, Berkeley, California
Winter Group Exhibition, Athen B Gallery, Oakland, California
Bestowed Upon Us, Alexi Era Gallery, Chicago, Illinois
La Luz de Jesus, Los Angeles, California
Bestowed Upon Us, Alexi Era Gallery, Chicago, Illinois
Magic Maker, Nooworks Gallery, San Francisco, California
2015 Hey Ladies, Co-Lab Gallery, Los Angeles, California
Equilux, Flatcolor Gallery, Seattle, Washington
30th Annual Group Show, La Luz de Jesus, Los Angeles, California
East Bay All Stars, Nielson Arts, Berkeley, California
4%, Fecal Face Gallery, San Francisco, California
2, Good Mother Gallery, Oakland, California
Alchemy, InnerSpace Gallery, Detroit, Michigan
Five & Diamond Annual Headress Show, Five & Diamond Gallery, Los Angeles, California
PSKaufman LA Studio Shoe Design Show, PSKaufman, Los Angeles, California
Equilux, Flatcolor Gallery, Seattle, Washington
Natural Selection, Empire7 Studios, San Jose, California
La Luz De Jesus Coaster Show, La Luz De Jesus Gallery, Los Angeles, California
Dark Paradise, Last Projects, Los Angeles, California
Co-Lab, Athen B Gallery, San Francisco, California
December Holiday Show, Fecal Face Gallery, San Francisco, California
2014 OklaJara, Guadalajara, Mexico
Broad Spectrum, Empire Studios, San Jose, California
Binding, Butter Projects, Detroit, Michigan
Objects of Poetic Desire, The Greenpoint Palace, Brooklyn, New York

(abridged)



RECENT WORK / BUNNIE REISS





KTGY Group, Inc.
17922 Filch
Irvine, California 92614
ktgy.com
949.851.2133

PROJECT TEAM:

PROJECT CONTACT: Anal Stele
EMAIL: astele@ktgy.com
PRINCIPAL: David Chitt
PROJECT DIRECTOR: Anal Stele
PROJECT DESIGNER: Dylan Sany
PROJECT MANAGER: Kelle Badow

DEVELOPER

LaTerra Development, LLC
777 S. Highway 101 Suite 107
Solana Beach, CA 92075
Tel: (858) 720-1700

GARVEY SQUARE

11401 GARVEY AVE.

KTGY Project No: 2014-0612

Sheet Issue & Revision Log

No	Date	Description
		PC SUBMITTAL
A	SEE LOG	2ND PC SUBMITTAL
B	SEE LOG	3RD PC SUBMITTAL
C	SEE LOG	4TH PC SUBMITTAL
D	SEE LOG	4TH FIRE PC SUBMITTAL
E	SEE LOG	5TH FIRE PC SUBMITTAL

Use the sheets approved prior to any construction to verify the accuracy of the information shown on this drawing. The contractor shall be responsible for verifying the accuracy of the information shown on this drawing. The contractor shall be responsible for verifying the accuracy of the information shown on this drawing.

ARCHITECTURAL SITE PLAN

A1-00

KEYNOTE LEGEND

- 1 CONCRETE WALKWAY - SEE CIVIL AND LANDSCAPE PLANS.
- 2 DECORATIVE PAVING - SEE CIVIL AND LANDSCAPE PLANS.
- 2.1 DECORATIVE PAVING - SEE CIVIL AND LANDSCAPE PLANS.
- 3 BICYCLE RACK
- 4 NOT USED
- 5 SEE PARKING DEFINITION SECTION FOR PLACEMENT JUSTIFICATION
- 6 PARKING DESIGNATED FOR LOW EMITTING, FUEL EFFICIENT, & CARPOOL/VANPOOL VEHICLES PER SEC. 5.109.52 C.C.C.

SITE PLAN LEGEND

ELECTRICAL

- D GAS METER
- G DATA CLOSET
- FR FIRE RISER & WATER CONNECTION
- FR FIRE DEPARTMENT CONNECTION (FDC) ON EXTERIOR WALL AT EACH BUILDING
- FB FIRE BACKFLOW (OS&V - DCD)
- GI BELOW GRADE GREASE INTERCEPTOR 2500 GALLONS
- T TRANSFORMER
- WM WATER METER
- EV FOR ACCESSIBLE STALL REQUIREMENTS - SEE AD-01.0
- EV FUTURE ELECTRIC VEHICLE CHARGING STATION

STALL #

STANDARD PARKING STALL (TYP. UNO) = 18'-0" x 8'-6" (ALTERNATE STALL WIDTH FOR 90° PARKING ANGLE PER CITY STANDARD)

*ACCESSIBLE PARKING STALL = 20'-0" x 9'-0"

BUILDING ADDRESS
BUILDING TYPE
REVERSE PLAN (WHEN OCCURS)

EXISTING PROPERTY LINE
SETBACK LINE
PROPOSED PROPERTY LINE
EXISTING LEGAL LOT LINES

NOTE: NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% (INSPECTOR TO VERIFY)

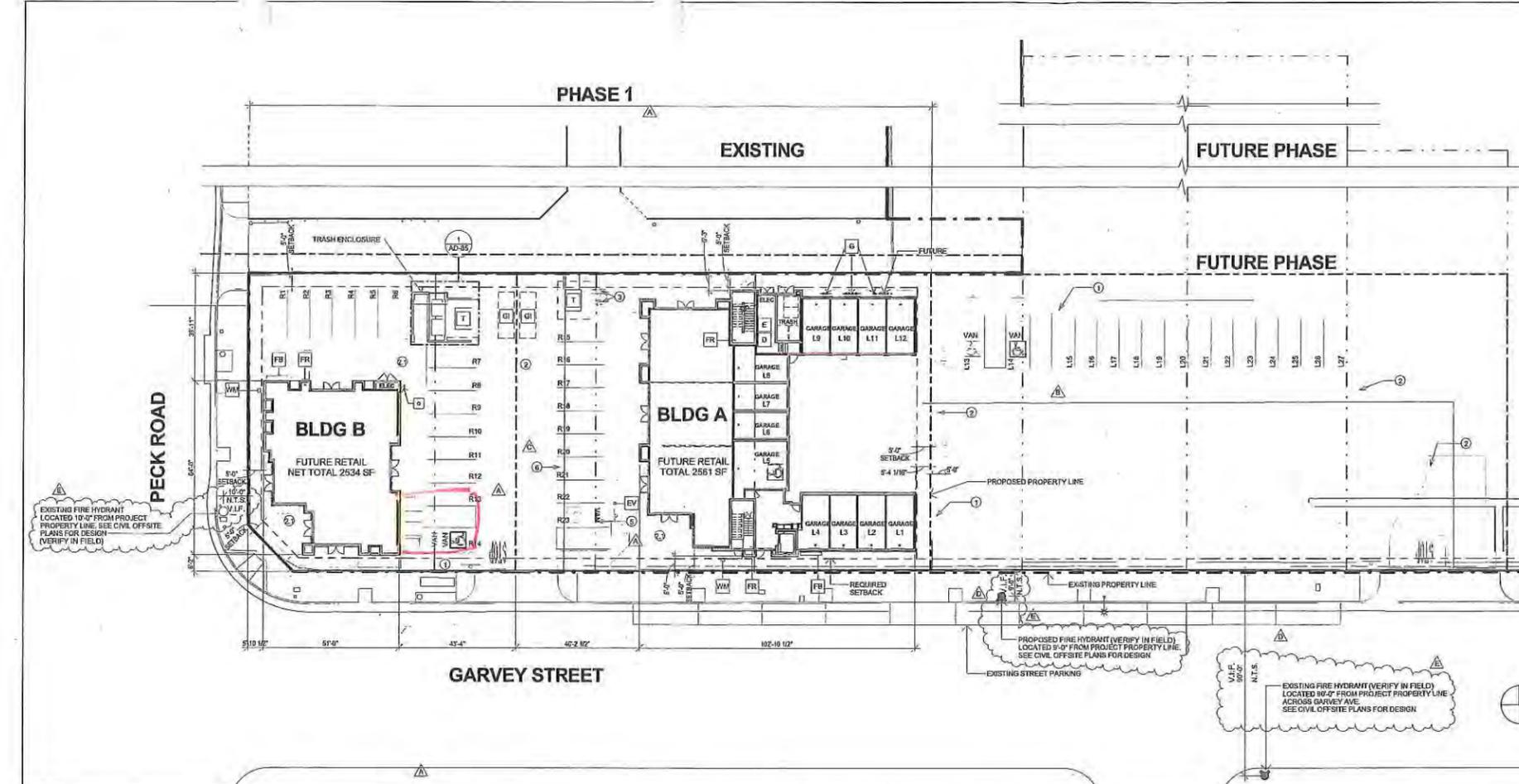
ADD PROPOSED LOCATION OF BUILDING ADDRESS OR UNIT NUMBERS. VERIFY WITH LOCAL EMERGENCY SERVICES. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.2" - CBC SECTION 801.2.

FH EXISTING FIRE HYDRANT - SEE FIRE ACCESS PLAN (SHEET A1-02)

NOTES

- SITE PLAN DIMENSIONS ARCHITECTURAL SITE PLAN IS PROVIDED TO ILLUSTRATE BUILDING LOCATION ON THE PROJECT SITE AND TO ILLUSTRATE THE RELATION OF THE PROJECT SITE TO THE PUBLIC WAY. EXISTING CONDITIONS, SETBACKS AND EASEMENTS FOR THE PURPOSES OF JUSTIFYING THE PROPOSED PROJECT WITH BUILDING CODE AND MUNICIPAL REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR HORIZONTAL CONTROL, SITE UTILITIES, GRADE ELEVATIONS, FINISH FLOOR ELEVATIONS, ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED AND LOT LINE DIMENSIONS.
- DO NOT SCALE DRAWINGS. CAREFULLY REVIEW ALL CONSTRUCTION DOCUMENTS PRIOR TO BID AND START OF CONSTRUCTION. CONFIRM THAT WORK INDICATED IN THE CONSTRUCTION DOCUMENTS IS BUILDABLE AS SHOWN. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES AND OMISSIONS.
- CAREFULLY COMPARE ALL CONSTRUCTION DOCUMENTS WITH THE EXISTING SITE CONDITIONS PRIOR TO BID AND START OF CONSTRUCTION. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES AND OMISSIONS.
- PROVIDE WORK IN COMPLIANCE WITH APPLICABLE CODES AND WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY. MAINTAIN AT THE PROJECT SITE COPIES OF CODES, ORDINANCES AND STANDARDS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- MAINTAIN EXITS, LIGHTING, FIRE PROTECTION DEVICES AND ALARMS REQUIRED BY ALL APPLICABLE CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION FOR DURATION OF WORK.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQ'D. BY CBC SEC. 330K.
- VERIFY ON-SITE PARKING LAYOUT WITH CIVIL DRAWINGS.
- REFER TO LANDSCAPE DRAWINGS FOR SPECIFIC PAVING, IRRIGATION, PLANTING REQUIREMENTS AND OUTCROP SPACES.
- REFER TO LANDSCAPE DWGS. FOR SITE WALL CONSTRUCTION INCLUDING FOOTING AND TOP OF WALL ELEVATIONS.
- REFER TO GEOTECHNICAL REPORT. REPORT INDICATED FOR REFERENCE ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR SITE ELECTRICAL SERVICE AND SCHEDULING.
- PROVIDE WALKS AND SIDEWALKS WITH A CONTINUOUS SLIP-RESISTANT SURFACE. SEE LANDSCAPE DRAWINGS.
- COMPARE DEPTH OF ROUGH GRADING AND EXCAVATION OPERATIONS WITH DEPTHS OF EXISTING UTILITIES TO REMAIN PRIOR TO BID AND START OF GRADING OPERATIONS.
- COORDINATE STAGING AREAS WITH OWNER PRIOR TO BID AND START OF CONSTRUCTION.
- REPAIR AT NO COST TO OWNER ANY DAMAGE TO EXISTING CONDITIONS, OUTSIDE OF CONSTRUCTION LIMIT LINE AS A RESULT OF THE WORK PERFORMED UNDER THIS CONTRACT.
- PROPERTY LINES, EASEMENTS & BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN & IS BASED UPON INFORMATION PROVIDED BY OTHERS.
- SLOPE GRADE TO PROVIDE DRAINAGE AWAY FROM BUILDING.
- KEEP IN PLACE AND STORED MATERIALS DRY AT ALL TIMES. REMOVE ITEMS THAT BECOME WET FROM PROJECT SITE AND DISPOSE OF IN A LEGAL MANNER.
- ALL WALLS, FENCES AND SIGNAGE WILL BE CONSTRUCTED UNDER SEPARATE PERMIT.

REFER TO CIVIL DRAWINGS FOR MORE INFORMATION



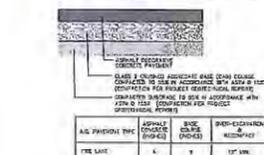
SITE PLAN 1" = 20'-0" 1

SITE NOTES

- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION PER FIRE CODE 501.4
 - ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION PER FIRE CODE 501.4.
- Type of Construction per the Building Code: Type VA
Fire-flow Calculation Area: 33,440 sq. ft.
Fire Flow based on the fire-flow calculation area: 3,750 gpm
Reduction for fire sprinklers (maximum 50%): 1,750 gpm
Total Fire Flow Required: 2,000 gpm

ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/2", BRASS OR BRONZE CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT.

TYPICAL ROADWAY SECTION PER CIVIL DRAWINGS "PHASE 1 CIVIL IMPROVEMENTS" SHEET 4 OF 18



ELEVATOR NOTES

SERVICE ELEVATOR REQUIREMENTS BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE REQUIREMENTS OF CBC 2022.4.1A THROUGH 2022.4.7A

PARKING DEFINITION

110-208.3.1 GENERAL PARKING SPACES COMPLYING WITH SECTION 110-202 THAT SERVE A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ENTRANCE COMPLYING WITH SECTION 110-206.4. WHERE PARKING SERVES MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SPACES COMPLYING WITH SECTION 110-202 SHALL BE DISPERSED AND LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING OR FACILITY, PARKING SPACES COMPLYING WITH SECTION 110-202 SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.

PER CHAPTER 2 DEFINITIONS FACILITY: ALL OR ANY PORTION OF BUILDINGS, STRUCTURES, SITE IMPROVEMENTS, ELEMENTS AND PEDESTRIAN OR VEHICULAR ROUTES LOCATED ON A SITE.

PARKING NOTES

- RESIDENCES OF BUILDING A SHALL BE ALLOCATED ONE EXCLUSIVE ENCLOSED PARKING SPACE WITHIN THE GROUND FLOOR PARKING AREA OF THE BUILDING
- ALL GARAGES SHALL INCORPORATE THE USE OF AUTOMATED GARAGE DOOR OPENER AND LIGHTING. SAID GARAGE DOOR AND OPENER MUST BE MAINTAINED IN AN OPERABLE STATE AT ALL TIMES.
- ALL STREET PARKING SPACES ARE FOR COMMON USE AND CANNOT BE ASSIGNED TO INDIVIDUAL UNITS OR TENANTS.

PARKING SIGNAGE

1109A.6.2.2 PARKING SPACE MARKING IN ADDITION TO THE SIGNAGE REQUIREMENTS, EACH ACCESSIBLE PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING:

- THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE, AND SHALL BE MARKED WITH THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE OR A SUITABLE CONTRASTING COLOR. THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SHALL BE 30 INCHES HIGH MINIMUM WITH THE CENTERLINE 6 INCHES MAXIMUM FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE, AND ITS LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE.
- THE PARKING SPACE SHALL BE MARKED WITH THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE ON A BLUE BACKGROUND, 30 INCHES WIDE BY 38 INCHES HIGH IN MINIMUM SIZE. THE CENTERLINE OF THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SHALL BE 6 INCHES MAXIMUM FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES SHALL BE PARALLEL TO THE LENGTH OF THE PARKING SPACE, AND ITS LOWER SIDE SHALL BE ALIGNED WITH THE END OF THE PARKING SPACE LENGTH.

110-206.4 ADDITIONAL SIGNAGE AN ADDITIONAL SIGN SHALL BE POSTED EITHER: (1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE.

110-206.4.1 SIZE THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH.

110-206.4.2 LETTERING THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING:

*UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTRIBUTING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PARKING WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE REIMAGED OR BY TELEPHONING

BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.

PARKING SUMMARY

VEHICULAR PARKING REQUIRED	TOTAL
RESIDENTIAL (STALLS ARE NUMBERED AND IDENTIFIED BY PREFIX "L")	
ENCLOSED GARAGES	
2 BEDROOM UNITS 12 UNITS x 3 SPACES PER UNIT	36 STALLS
GUEST PARKING 12 UNITS x 1/4 SPACE PER UNIT	3 STALLS
TOTAL RESIDENTIAL ON-SITE PARKING REQUIRED	39 STALLS
TOTAL RESIDENTIAL ON-SITE PARKING PROVIDED	27 STALLS
RETAIL (STALLS ARE NUMBERED AND IDENTIFIED BY PREFIX "R")	
RETAIL PARKING 1,695 SF x 4 SPACES PER 1000 SF	21 STALLS
RESTAURANT PARKING 25' x 4 SPACES PER 50'	0 STALLS
TOTAL RETAIL/RESTAURANT ON-SITE PARKING REQUIRED	21 STALLS
TOTAL RETAIL/RESTAURANT ON-SITE PARKING PROVIDED	22 STALLS
TOTAL ON-SITE PROVIDED	49 STALLS
TOTAL OFF-SITE PROVIDED	1 STALL
TOTAL ON- & OFF-SITE PROVIDED	50 STALLS
TOTAL PARKING REQUIRED	59 STALLS
PARKING REQUIREMENTS (INCLUDED IN TOTAL)	
RESIDENTIAL ACCESSIBLE STALLS (INDICATED BY PREFIX "L")	
ASSIGNED PARKING PER CBC 1109A.3 (GARAGE) 12 X 2%	1 STALL
ASSIGNED PARKING PER CBC 1109A.3 (UNCOVERED) 15 X 2%	1 STALL
UNASSIGNED PARKING PER CBC 1109A.5 (GUEST) 3 X 5%	1 STALL
TOTAL ACCESSIBLE PARKING REQUIRED	3 STALLS
TOTAL ACCESSIBLE PARKING PROVIDED	3 STALLS
RETAIL ACCESSIBLE STALLS (INDICATED BY PREFIX "R")	
TOTAL ACCESSIBLE PARKING REQUIRED PER CBC 110-208.2 1 PER 25'	1 STALL
TOTAL ACCESSIBLE PARKING PROVIDED	2 STALLS
TOTAL ACCESSIBLE PARKING PROVIDED ON-SITE	5 STALLS
ELECTRIC VEHICLE CHARGING STATIONS	
1 PER 50 SPACES x 50 SPACES	1 SPACE
BICYCLE PARKING	
2 PER 5 UNITS x 12 UNITS	8 BICYCLES

SITE SUMMARY

DESCRIPTION	TOTAL
TOTAL NO. OF UNITS	12

BUILDING SUMMARY

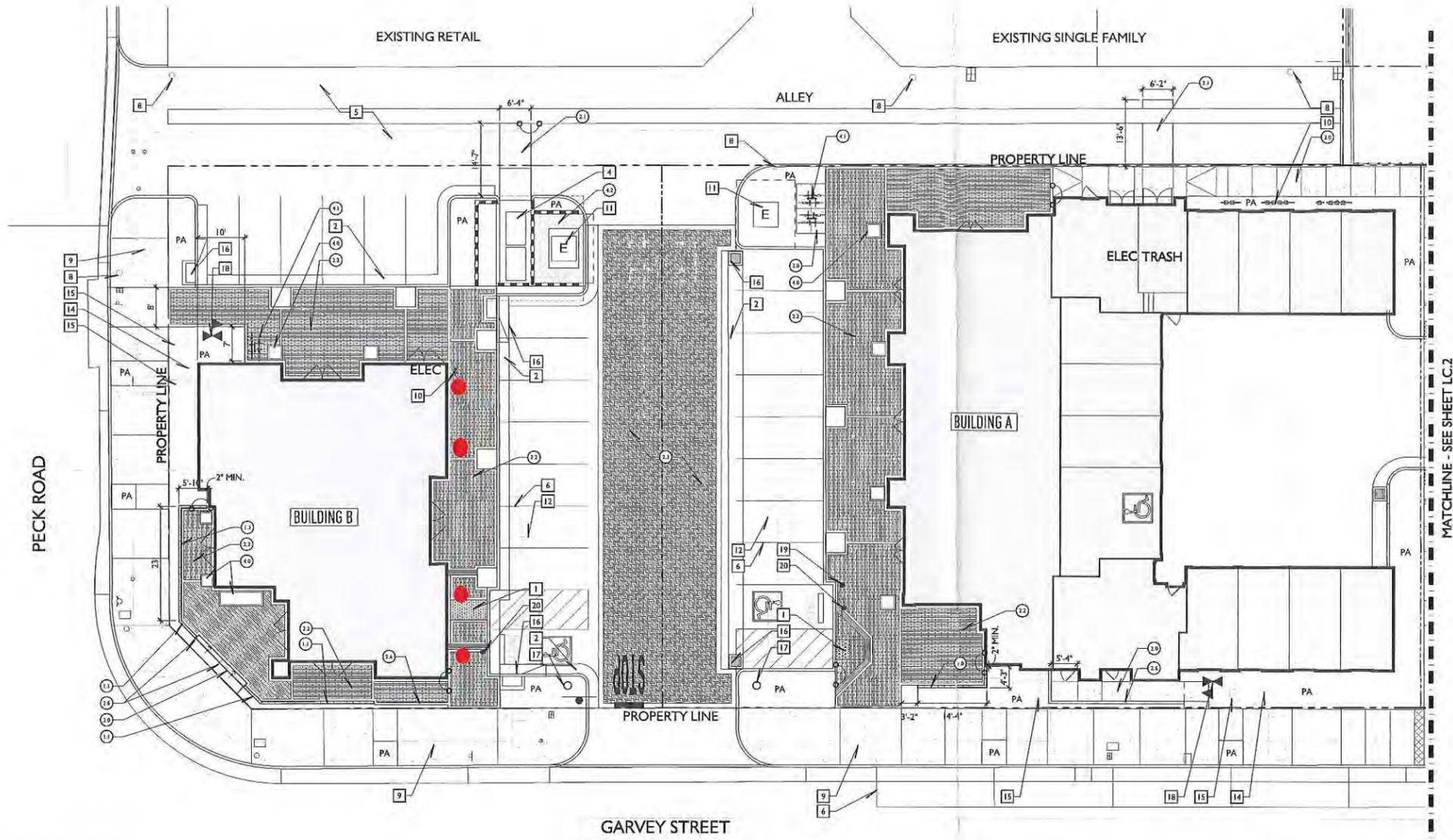
BUILDING NUMBER	BLDG TYPE	NUMBER OF UNITS IN BUILDING	NUMBER OF TIMES BUILDING OCCURS	UNIT TOTALS
BUILDING #1	A	12 UNITS	1 BUILDING	12 UNITS
BUILDING #2	B	0 UNITS	1 BUILDING	0 UNITS
TOTALS			2 BUILDINGS	12 UNITS

ACCESSIBLE UNIT SUMMARY

DESCRIPTION	TOTAL
REQUIRED PER CBC 1109A.3.2 ALL DWELLING UNITS	12 UNITS
PROVIDED PER CBC 1109A.3.2	12 UNITS

SITE ACCESSIBILITY NOTES

- TYPICAL SITE ACCESSIBILITY NOTES AND DETAILS:
 - GENERAL NOTES: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
- "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SIGN DISPLAY AT EVERY PRIMARY BUILDING ENTRY ENTRANCE AND AT MAJOR JUNCTION ALONG OR LEADING TO ANY ACCESSIBLE ROUTE OF TRAVEL.
 - A. CHARACTERS, SYMBOLS AND THEIR BACKGROUNDS SHALL HAVE A NON GLARE FINISH.
 - B. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND.
 - C. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.



● SPOT LIGHT TO SHOW ARTWORK

CONSTRUCTION CALLOUTS:

DESCRIPTION	DETAIL
MASONRY	DETAIL
10 LOW WALL at CAFE SEATING AREA	F, LC.4
11 LOW WALL at SOUTHWEST CORNER	I, LC.4
FLATWORK	
12 PEDESTRIAN CONCRETE PAVING	A, LC.4
13 VEHICULAR CONCRETE PAVING	B, LC.4
14 INTERLOCKING CONCRETE PEDESTRIAN PAVERS	C, LC.4
15 INTERLOCKING CONCRETE VEHICULAR PAVER	D, LC.4
16 DECORATED GRANITE	E, LC.4
17 CONCRETE STEPS	G, LC.4
18 RETAINING CURB	J, LC.4
METAL	
19 HANDRAIL	G, LC.4
SITE IMPROVEMENT	
10 POTTERY (SEE POT LEGEND SHEET LP.1)	-
11 BICYCLE RACK	A, LC.3
12 COBBLE	H, LC.4

GENERAL SITE IMPROVEMENTS

1 ADA RAFF: by CIVIL ENGINEER.
2 CURB and GUTTER: by CIVIL ENGINEER.
3 TRUNCATED DORIES: by ARCHITECT.
4 TRASH ENCLOSURE: by ARCHITECT.
5 ASPHALT PAVING: by OTHERS.
6 PARKING LOT STRIPING: by OTHERS.
7 UNDERGROUND UTILITIES: by OTHERS.
8 EXISTING POWER POLE
9 CITY SIDEWALK: by OTHERS.
10 GAS METERS: by OTHERS.
11 TRANSFORMER: by OTHERS.
12 STORMWATER DETENTION SYSTEM: by CIVIL ENGINEER.
13 CONSTRUCTION FENCE: by OTHERS.
14 FIRE HYDRANT: by OTHERS.
15 BACKFLOW PREVENTION DEVICE: by CIVIL ENGINEER.
16 STORM DRAIN INLET: by CIVIL ENGINEER.
17 SIGNAGE POST: by OTHERS.
18 POST INDICATOR VALVE: by CIVIL ENGINEER.
19 ELECTRIC VEHICLE CHARGING STATION: by OTHERS.
20 ACCESSIBLE PARKING STALL SIGNAGE: by OTHERS.

LEGEND:

○	ALIGN
CLR	CLEAR
⊕	CENTERLINE
EQ.	EQUAL
F.O.C.	FACE OF CURB
F.O.P.	FACE OF PILASTER
F.O.W.	FACE OF WALL
MIN.	MINIMUM
MAX.	MAXIMUM
P.A.	PLANTING AREA
R=	RADIUS EQUALS
TYP.	TYPICAL
Ⓢ	CONSTRUCTION CALLOUT
Ⓢ	CAULKED EXPANSION JOINT (TO MATCH PAVING)

FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

Revised For:

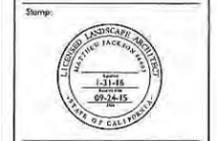
4.1.2015	PC SUBMITTAL
6.18.2015	PROGRESS SET
7.27.2015	PC SUBMITTAL #2
9.24.2015	PC SUBMITTAL #3

Revisions:

MJS
LANDSCAPE ARCHITECTURE
 507 30th St.
 Newport Beach, CA 92663
 949.675.9964
 mja-la.com

PROJECT:
GARVEY SQUARE
 11401 GARVEY STREET
 EL MONTE, CA

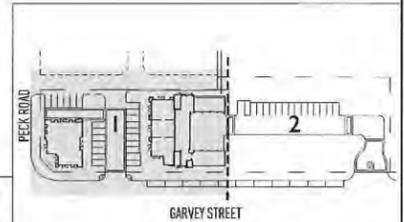
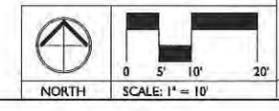
CLIENT:
LATERRA DEVELOPMENT, LLC.
 777 S. HIGHWAY 101
 SUITE 107
 SOLANA BEACH, CA 92075



Stamp:
 Job No.:
 Drawn By:
 Checked By: MJ
 Plan Date: 09.24.15
 Scale: 1" = 10'

Title:
CONSTRUCTION PLAN

Sheet No.:
LC.1
 Plan Status:
PERMIT/CONSTRUCTION DOCUMENTS



GARVEY SQUARE - EL MONTE, CA - LANDSCAPE ARCHITECTURE



BUILDING B EAST ELEVATION

SCALE: $\frac{1}{8}'' = 1'-0''$



