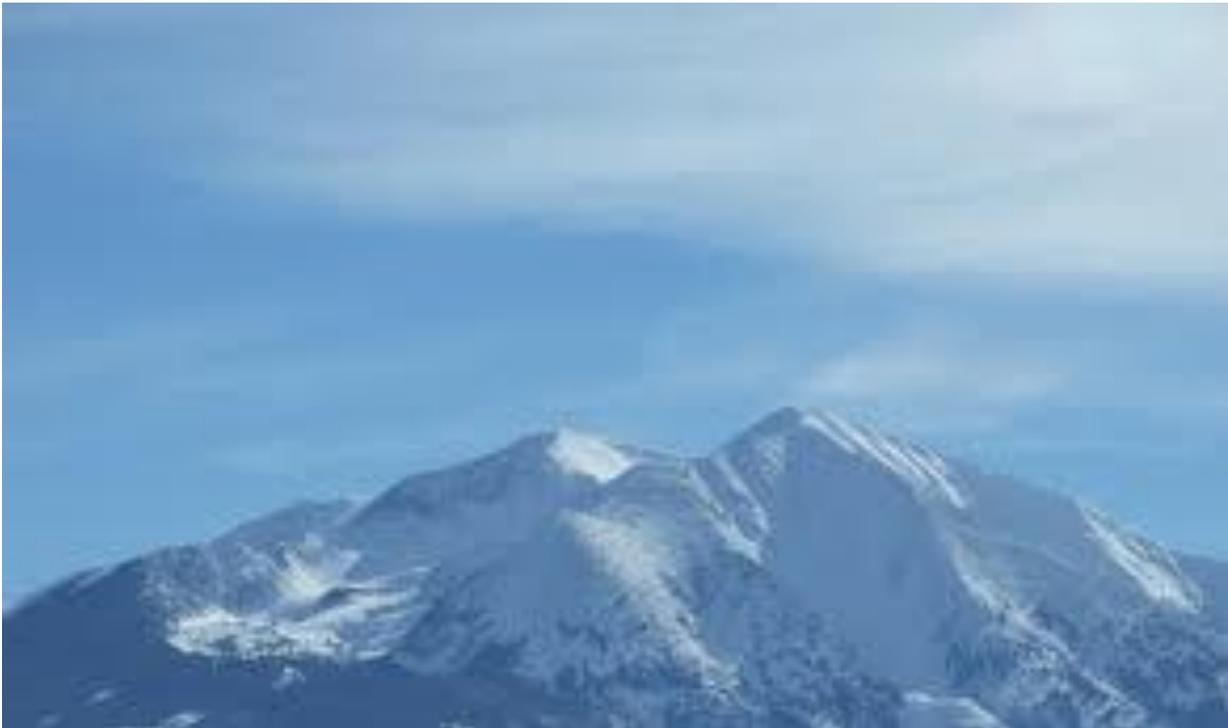


MOUNTAIN VIEW

SPECIFIC PLAN 01-12

CITY OF EL MONTE



Prepared For:

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1773 West San Bernardino Road, Suite B-42

West Covina, Ca 91790

DRAFT MAY 20TH, 2012

MOUNTAIN VIEW SPECIFIC PLAN

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SPECIFIC PLAN

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INTRODUCTION

1.1 SETTING

The Mountain View Specific Plan area is 6.32 acres located in the eastern portion of the City of El Monte, east of Durfee Ave, south of Valley Blvd. The site is adjacent Mountain View High School on its eastern border. The subject property consists of vacant light industrial buildings and asphalt covered parking lots. Other adjacent land uses include Residential and Light Industrial to the West, Residential uses to the south and Light Industrial uses to the North. Exhibit 1.1, Vicinity Map, shows the location of the Specific Plan Area, also known as Tract Map 71784.



Exhibit 1.1

1.2 PROJECT OVERVIEW

The Mountain View Specific Plan provides the City of El Monte with a set of plans, regulations and guidelines to create a quality planned residential community through the orderly development of the site. The Specific Plan envisions the creation of a family-oriented neighborhood that will provide needed moderate-income affordable housing and market rate entry level housing opportunities in the City of El Monte.

The development will incorporate design concepts that recall the San Gabriel Valley's history and blend with recent neighboring El Monte developments. Features include single family lots that orient toward a public street, landscaped yards with canopy street trees, two car driveways and private backyards. A looping street design will aid in public safety and assist traffic flow but also offer neighborhood privacy. The streetscape along Denholm Avenue will face the existing neighborhood. Landscaped parkways and sidewalks will accommodate the pedestrians and students heading to Mountain View High School.

The proposed project is to develop 6.32 acre site into a residential community. The Mountain View Specific Plan makes provisions for up to 62 single-family homes on the 6.32 acres of land. The site was zoned M-1 and M-2 with land use designation of Manufacturing. In 2011 the City of El Monte revised the general plan and land use designations throughout the city and the Zoning class is C-3 (General Commercial). The site is currently designated as Regional Commercial by the El Monte General Plan. The proposed development will require a General Plan amendment, Zone Change, Specific Plan, Conditional Use Permit and a Tentative Tract Map.

1.3 PURPOSE OF THE SPECIFIC PLAN

The purpose of the Mountain View Specific Plan is to allow comprehensive development of the site while implementing the City of El Monte's General Plan goals as they relate to development of Specific Plan areas and implementation of the City of El Monte's Housing Element goals. The Specific Plan is prepared pursuant to California Government Code Section 65450 etc. *seq.* The Specific Plan serves as the direct link between the General Plan's policies and the design of the proposed residential development project, and ensures that they are and will remain consistent with the General Plan.

The Specific Plan serves as the policy and regulatory framework for guiding and coordinating the future design and development of the Mountain View Specific Plan area. It provides a comprehensive description of land use, circulation, infrastructure, site development standards, and implementation programs for owners, architect, and builder in the preparation of detailed development proposals for City review and approval. All future development and redevelopment within the specific plan area shall be consistent with and take guidance from the policies established and identified herein. This Specific Plan contains all components required by State law, as well as other components, design concepts, guidelines, and standards desired by the City to implement the General Plan. Specifically, the Specific Plan is designed to:

- Provide a comprehensive land use plan that designates the distribution, location, and extent of land uses;
- Establish the design and specifications for necessary public infrastructure and roadway improvements and a funding mechanism for long range maintenance of these facilities within the specific plan area;
- Establish a compatible interface with surrounding residential units, making sure to provide pedestrian flow to Mountain View High School along Denholm Drive;
- Establish a design concept that is compatible with existing commercial developments, making sure to keep residential and commercial traffic separate;
- Establish development regulations and procedures to control project improvements and provide appropriate site planning guidelines for the private open space.

1.4 RELATIONSHIP TO THE GENERAL PLAN

Pursuant to California Government Code Section 65454, a Specific Plan shall be consistent with the local jurisdiction's General Plan. A General Plan Amendment is required in conjunction with the approval of this Specific Plan to ensure consistency between the Mountain View Specific Plan land use and the City of El Monte General Plan. The General Plan land use designation for

the subject property will be amended from Regional Commercial to Mountain View Specific Plan which describes the intended development.

The Mountain View Specific Plan provides regulations, guidelines, and standards that are consistent with and implement the goals and policies of the City of El Monte's Residential section of the General Plan. In particular, the following General Plan Goals and Objectives are addressed:

- Land Use Medium Density Residential:

This designation allows for more dense types of residential development, such as town homes, planned residential developments, and single-family patio homes. This form of housing tends to have smaller private yards and shared recreation areas. Medium density housing is found throughout the city and provides a transition from historically low density residential areas and newer high density developments. Other compatible land uses permitted in any lower residential category are also allowed.

The Mountain View Specific Plan redesignates a commercial infill area of the City of El Monte, with existing residential adjacent to the property and Mountain View High School to the east, as a new moderate-income residential area with a density that is consistent with the medium density residential land use designation of the General Plan. The development will serve as a buffer and transition between Industrial and Commercial developments to the North and East and the lower density developments to the South. It assures quality development through provision of Development Standards and Regulations.

- Highlighted in the Parks and Recreation Element *Greenways*:

Develop green parkways and medians that line major corridors, offer potential for walking and bicycling, and link residences to parks, schools, and other community destinations.

The Mountain View Specific Plan incorporates neo-traditional circulation planning concepts including streets intended to slow traffic and to reduce overall pavement area inside the project. Walkways separated from the street by planted parkways add to pedestrian safety and enhance the neighborhood street scene along Denholm drive.

- Community Design Element Goal:

Quality Materials: Building materials should be high quality and natural materials, such as stucco, plaster, stone, and wood surfaces. Housing should not have reflective glass, glossy surfaces, or poor imitation materials.

Durability: Materials and design of structures should be highly durable (without sacrificing aesthetics) and be capable to withstand weather, use, and time.

History: Building construction should consider thoughtful integration of historical elements that have shown durability and are positively acknowledged by the community.

Aesthetics: Structural appearance should incorporate thoughtful, aesthetically pleasing design in rooflines, facades, entryways, building orientation, and site layout.

Functionality: Buildings must be designed in a manner to fulfill functional needs, whether of housing, business, or industry, including size of units, parking needs, and other accommodations.

Sustainability: Structures should be of a sustainable design, with attention to resource conservation or reuse, energy conservation, water efficiency, and other practices.

Architectural design guidelines provided with this document are intended to ensure adequate quality and detail for a quality moderate-income residential development. These guidelines also provide standards for both the City and developer to reference when processing proposed site development plans.

1.5 AUTHORITY AND SCOPE

The Mountain View Specific Plan has been prepared pursuant to the provisions of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. The Code authorizes Cities to adopt Specific Plans by resolution as policy or by ordinance as regulation. The City of El Monte adopts and amends Specific Plans by code of ordinance per Title 17- Zoning, Chapter 17.67, of the City of El Monte Municipal Code. Public hearings by both the Planning Commission and the City Council are required, after which the Specific Plan must be adopted by the City Council. The Mountain View Specific Plan serves both a planning and regulatory function. It will be the device for implementing the City of El Monte General Plan on this property. The plan will contain all applicable land use regulations and will thus constitute the zoning for the Mountain View Specific Plan area. The Development Standards and policies contained in the Specific Plan will take precedence over zoning regulations contained in the City of El Monte's Municipal Code for all developments within the Specific Plan area.

2 EXISTING SETTING

2.1 PROJECT LOCATION

The Mountain View Specific Plan area encompasses approximately 6.32 acres located in the eastern portion of the City of El Monte. The subject property is located west of Durfee Avenue, east of Mountain View High School and South of Valley Blvd, and currently has 6 vacant industrial building totaling 84,000 sq ft.

2.2 SURROUNDING LAND USES

The Specific Plan area is in an urban area of mixed land uses that are predominantly residential and industrial. The property is bordered on the west by a two single family homes that are currently working as a business. Single-family residential homes line the south side of Denholm Drive, and Mountain View High School encompasses the entire eastern property line. To the north is a dead end portion of Rumford Avenue. The northwest side of Rumford Avenue is occupied by a newly constructed industrial/office park. The northeast side of Rumford Ave is maintained as a storage lot for trucks and other commercial equipment.

2.3 EXISTING CONDITIONS

Existing site conditions and topography are shown in Exhibit 2.1. The site is relatively flat with a moderate fall of approximate 7 feet from the northwest to the southeast portion of the site. Elevations range from 292 to 285 feet above sea level. The project site consists of fifteen parcels which have been previously paved and six vacant industrial buildings.

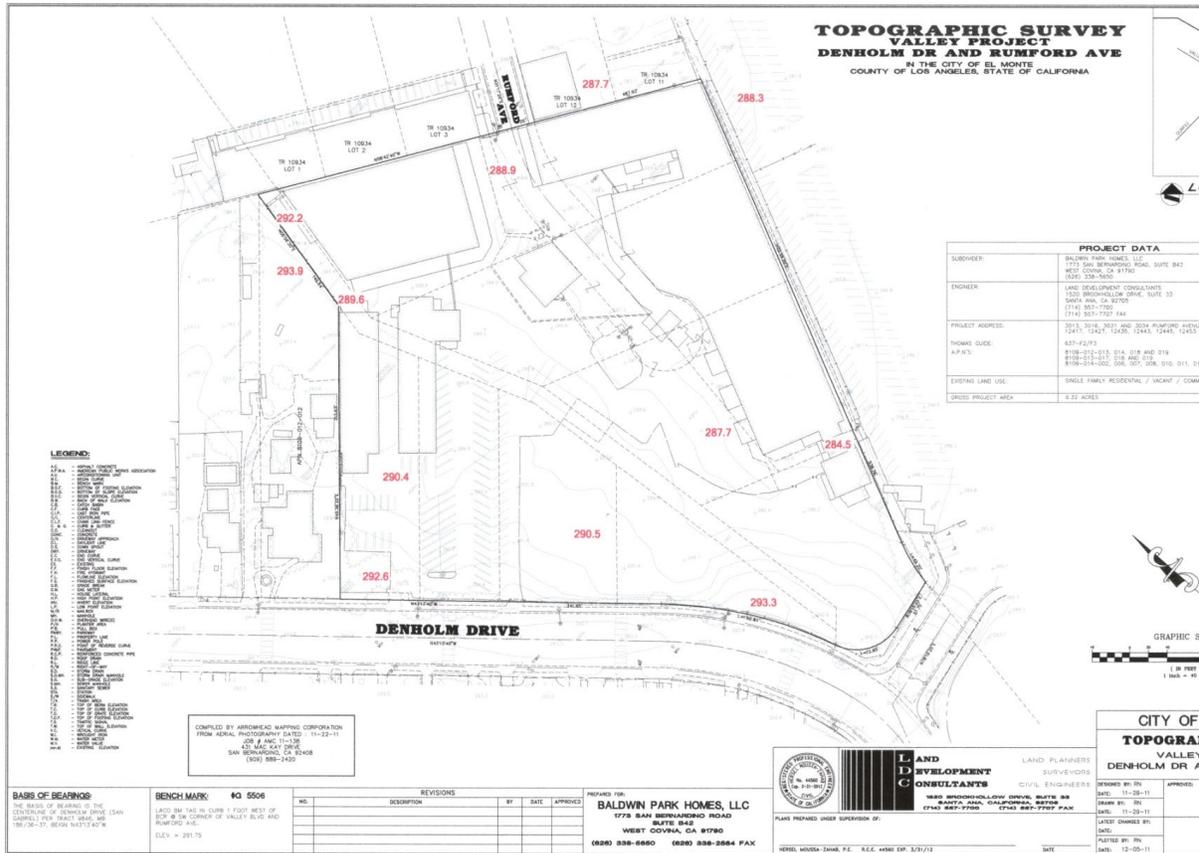


Exhibit 2.1

2.4 PROPERTY OWNERSHIP

The Mountain View Specific Plan area consists of 15 parcels totaling 6.32 acres. These parcels are currently owned by McConnell Cabinet Company. Baldwin Park Homes LLC is the owner in escrow and scheduled to close escrow and permanently acquire the property after the tentative tract map is approved.

3 PROJECT DESCRIPTION

3.1 DEVELOPMENT OBJECTIVES

The Mountain View Specific Plan sets forth site-specific criteria and standards to implement the project conceptually described in this Chapter, with the following objectives:

- To implement, development objectives, policies and programs of the City of El Monte General Plan;
- To implement the affordable housing goals. 10% of the project will be restricted to First Time affordable buyers. These units will be set aside for Low to Moderate income buyers. Affordable Housing shall be similar in exterior design to market rate housing within the same project;
- To provide specific planning and development standards for the property;
- To provide streets with sufficient capacity for efficient and safe traffic movement, incorporating neo-traditional design concepts that reduce vehicle speeds and noise and better accommodate pedestrians;
- To provide a cohesive architectural style to produce a high-quality residential community, unique in design and visual character;
- To provide infrastructure and utilities to meet the demands generated by the project and to not only minimize impacts on adjacent land uses but actually improve functionality of adjacent land uses. Coordinating with Mountain View High School to add a crosswalk, stop signs, handicapped ramps, and loading lanes to improve traffic flow and safety; and
- To create a uniquely identifiable neighborhood character through landscaping, interface treatments, and architectural theme and details.

These goals are aimed at guiding the development of the Mountain View Specific plan area to create a neighborhood which will be in harmony with surrounding land uses and to develop a distinctive sense of community for its residents.

3.2 LAND USE PLAN

The land Use Plan is shown in Exhibit 3.1. The Land Use Plan provides for the entire property to be developed with single-family residential homes on a fee simple title lot a development density of 9.8 units per acre. This density is consistent with the Medium density residential land use designation of the El Monte General Plan. There is no public open space provided in the Mountain View Specific Plan. The developer has elected to pay In-Lieu Quimby fees calculated at \$6,032.00 x 62 units = \$373,984.00

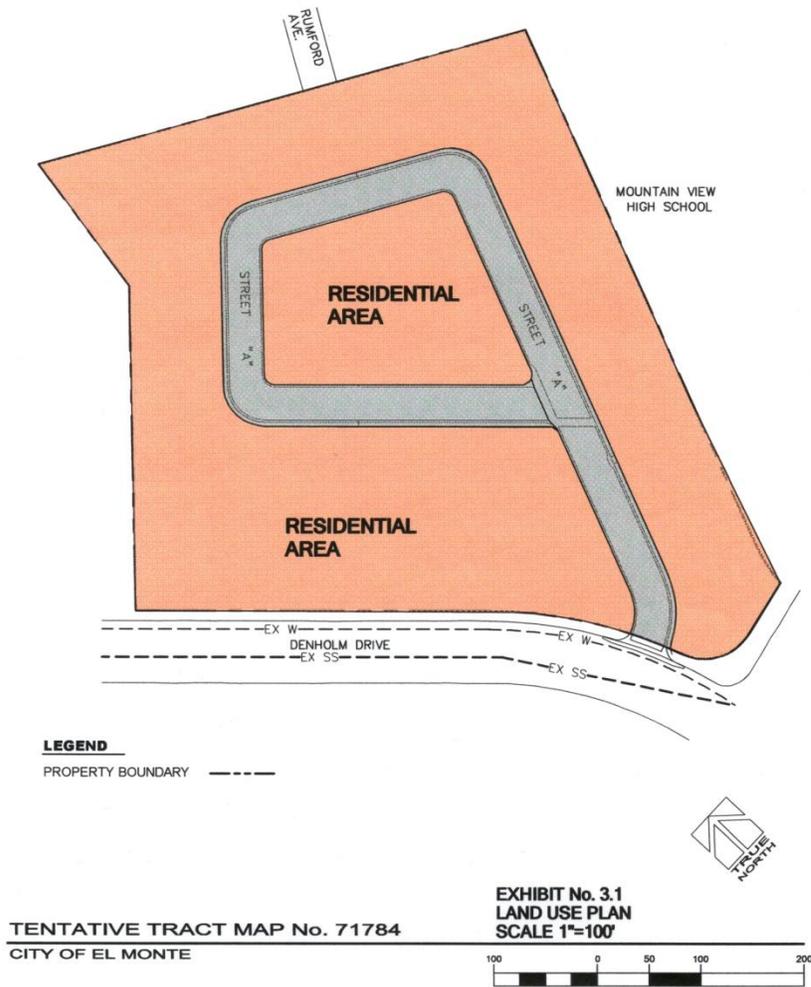


EXHIBIT 3.1

3.3 CONCEPTUAL SITE PLAN

The Mountain View Specific Plan Area is envisioned as a neo-traditional neighborhood development incorporating street design concepts and architecture reminiscent of that historically found in the San Gabriel Valley. Exhibit 3.2 shows the Conceptual Site Plan for the proposed project. The Conceptual Site Plan provides for a maximum of 62 single-family homes at an overall density of 9.76 dwelling units per acre. Residential lots range from a minimum size of 2,856 square feet (lot 56) up to approximately 6,642 square feet (lot 29). Each lot along Denholm Drive will be fronted by a 5-foot public sidewalk and an additional 5-foot landscaped right-of-way containing canopy street tree (LOTS 1-12 AND 51). These improvements are intended to provide individual property and residents with owners a greater sense of space on private lots and separation from the public street.

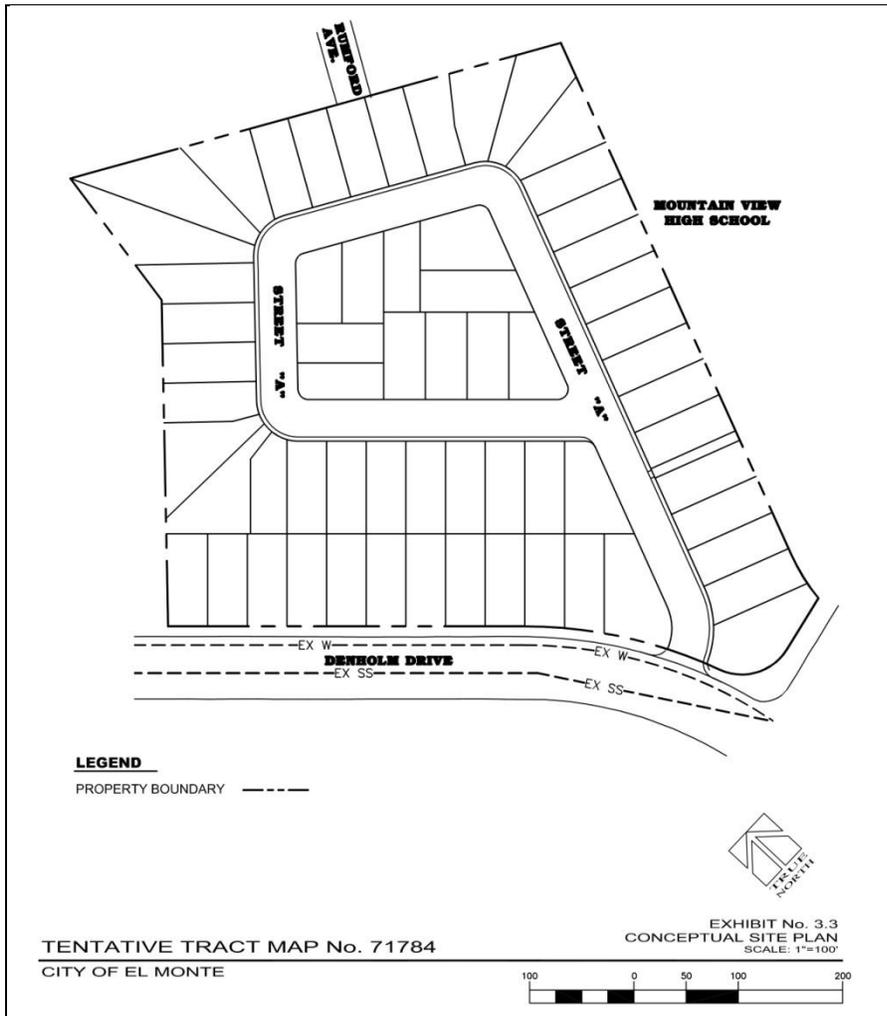
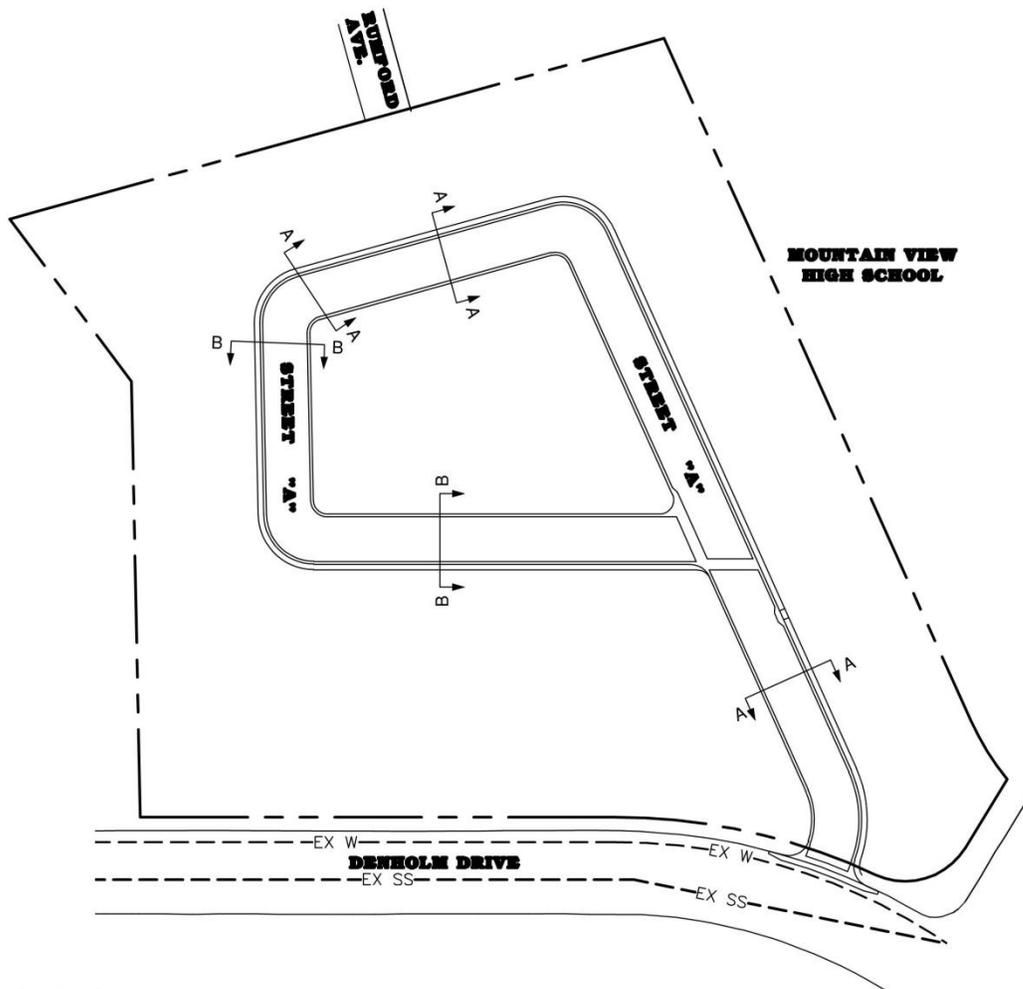


EXHIBIT 3.2

3.4 CIRCULATION

The Conceptual Circulation Plan, shown in Exhibit 3.3, establishes a conceptual layout and design standards for proposed public streets within and serving the Mountain View Specific Plan area. Direct access to the site is available from Denholm Drive. The Specific Plan will add one interior street connected to a looping circle. Typical street sections have been prepared and are shown in Exhibits 3.4. Denholm Avenue will be improved along the Specific Plan property consistent with the City of El Monte Standard Plans, with a 5-foot parkway, a 5-foot sidewalk, with canopy parkway trees and lighting. Interior street widths within this Specific Plan are designed at a more traditional neighborhood scale with reduced expanses of pavement. The interior streets will be public streets with rights-of-way reduced from adopted City local street standards. Street A will have a 41-foot right-of-way (36 feet curb-to-curb) with 4-foot sidewalk on one side of the street, 8-foot parking lanes on both sides of the street, and 10-foot travel lanes.



LEGEND

PROPERTY BOUNDARY - - - - -



TENTATIVE TRACT MAP No. 71784
CITY OF EL MONTE

EXHIBIT No. 3.4
CONCEPTUAL CIRCULATION PLAN
SCALE: 1"=100'

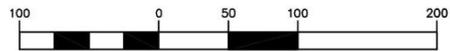


Exhibit 3.3

Upon recodation of the map and completion, the proposed street will become a public street and will be maintained by the City of El Monte Public Works Department. A Community Facility District Assesment has been established for the long term maintance of the improvements associated with the Public Street (Sidewalk, Road way, Lighting, etc...)

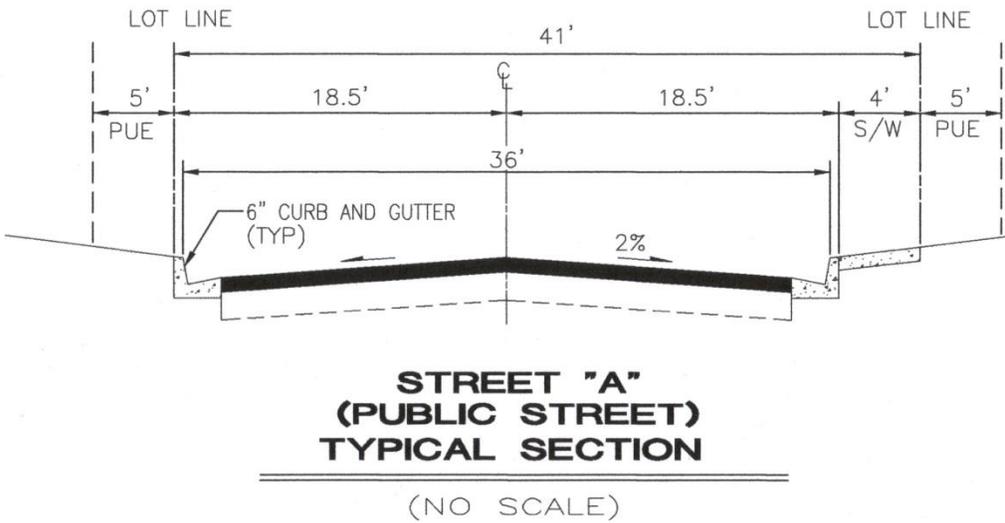
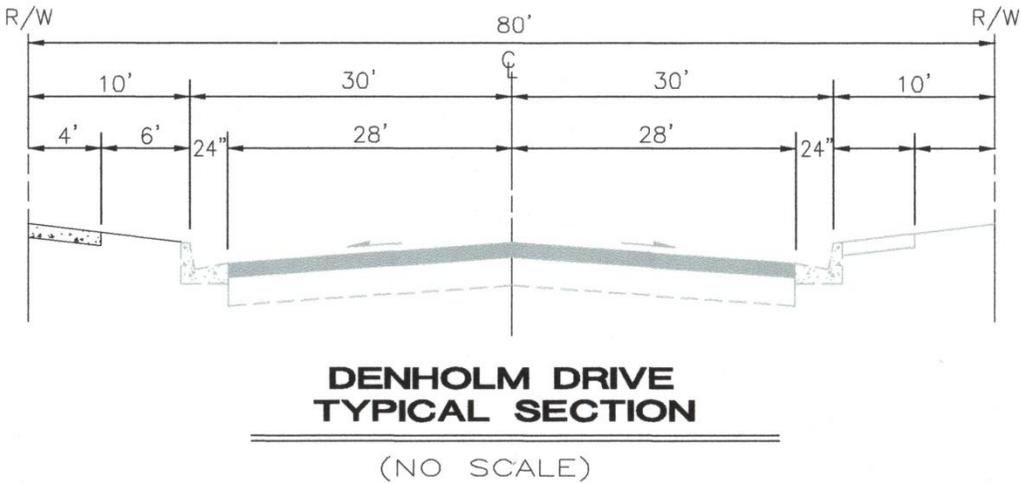


EXHIBIT 3.4

3.5 PARKING

Each unit within the Mountain View Specific Plan Area will have a two-car garage and a minimum full-width 18-foot deep driveway, with roll-up garage doors required and carports are not permitted. In addition, there are approximately 26 on-street parking spaces within the project as set forth on the Conceptual Site Plan, shown in Exhibit 3.2.

3.6 GRADING AND DRAINAGE CONCEPT

The grading concept for the Mountain View Specific Plan area is consistent with current topography. The site is relatively flat but is currently completely covered with concrete, asphalt

and buildings. One of the key elements to grading of this site will be reclamation of existing building materials. All the concrete and asphalt will be crushed into fine aggregate base and used as fill in the grading phase of construction. This provides an excellent base for the future streets and keeps thousands of tons of waste from local landfills. The site will slope gradually toward a storm channel (Lot B), located on eastern property line between lots 46 and 47. This will receive all storm water that is not captured in the individual lot percolation systems. Finished pad elevation for the units that front Denholm Drive will increase approximately 4 feet because they will now be sloping toward Denholm Drive. Previously this area of land sloped back into the property away from Denholm Drive. Finished pad elevations in the North West area of the project will increase two feet, from existing elevations, in order to match existing grades of neighboring parcels to the west and north. This will prevent property line issues with drainage and retaining walls. Flow directions and pad elevations are shown in Exhibit 3.5. Site Plan design and border conditions along the eastern property line have been coordinated with El Monte Union High School District and Mountain View High School staff. Existing and proposed border conditions are shown in Exhibit 3.6.

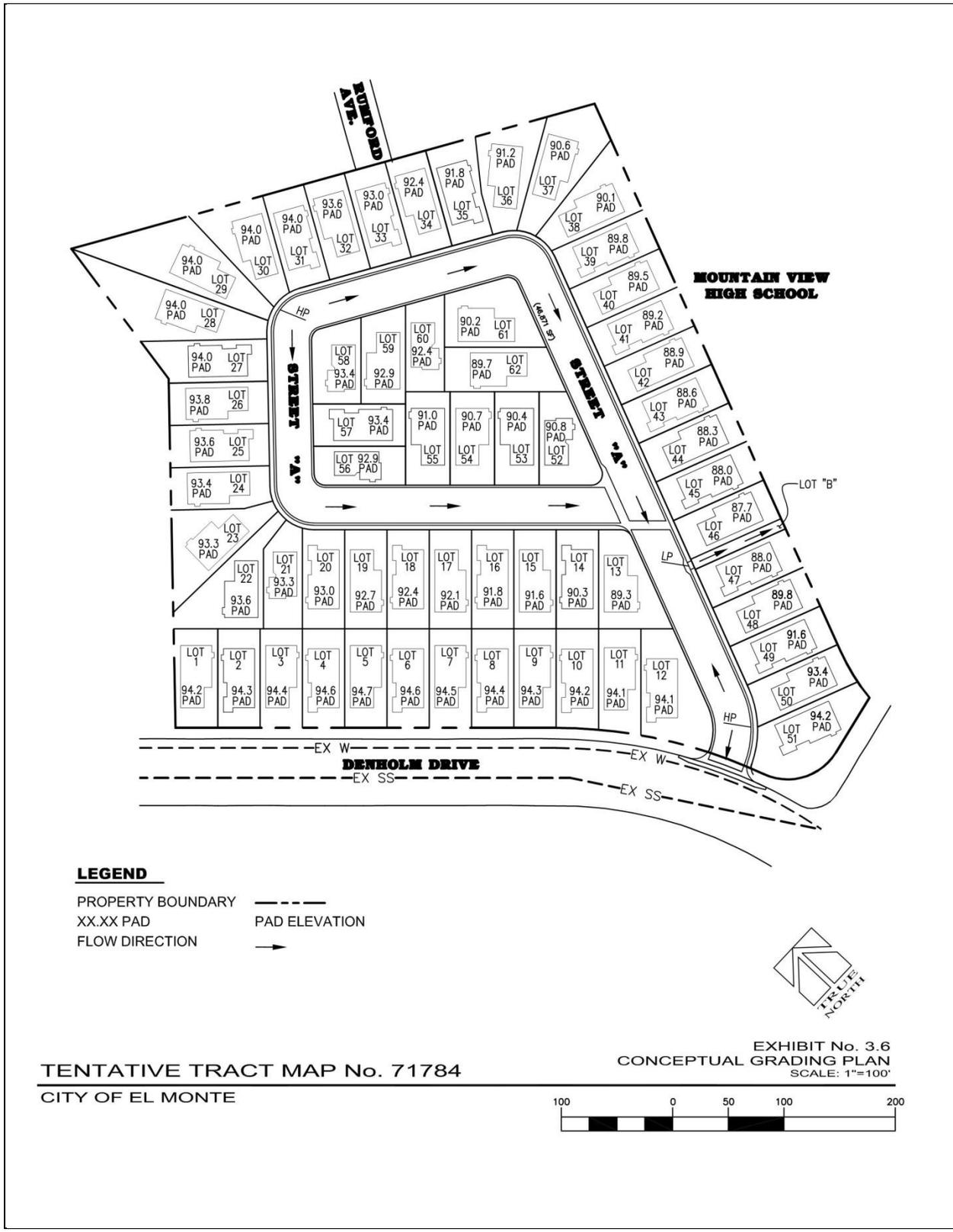


Exhibit 3.5

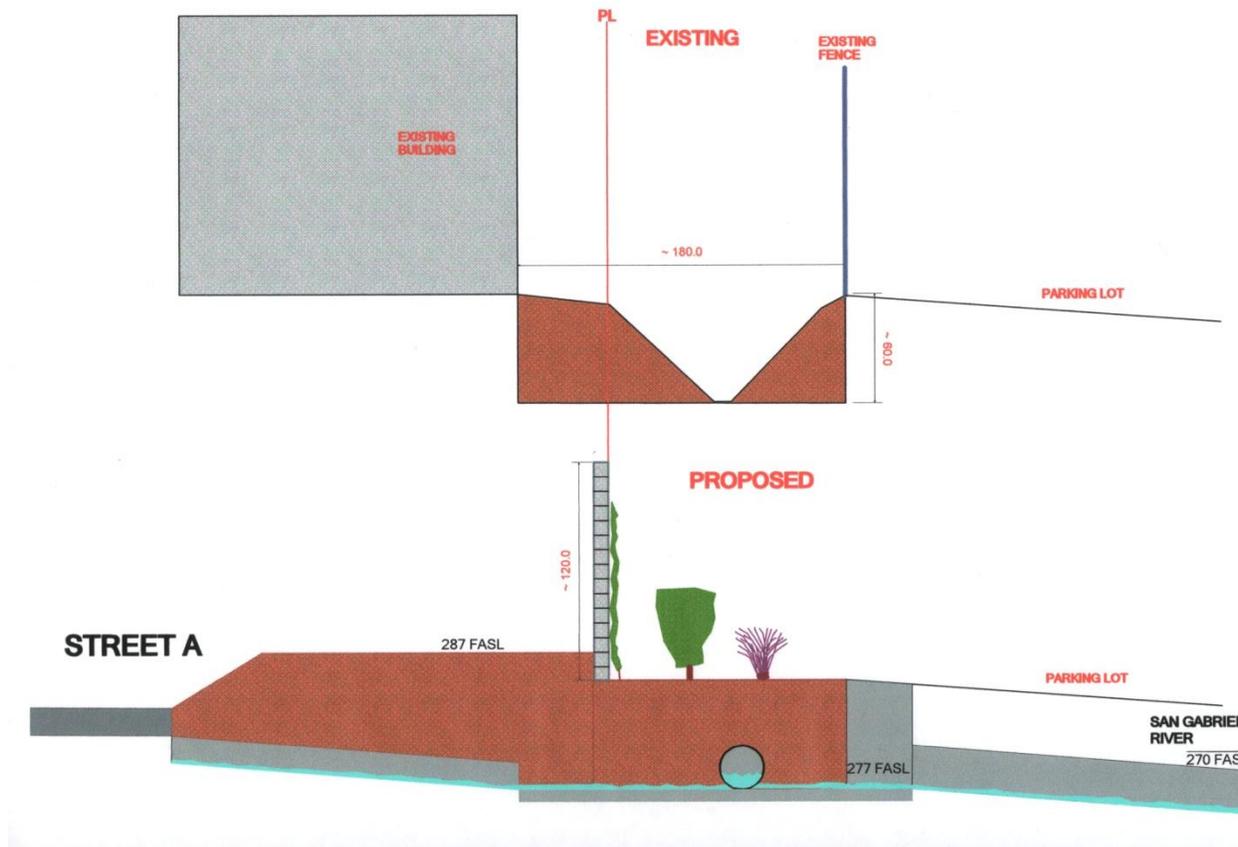


Exhibit 3.6

3.7 CONCEPTUAL WATER AND SEWER SYSTEM

The Conceptual Water and Sewer Plan for the Specific Plan area are shown in Exhibit 3.7. The sewer system will be constructed to specifications of the City of El Monte Department of Public Works. The water system will be constructed to the specification of San Gabriel Valley Water Company. Water service will be supplied in a loop system in the Street “A”. The system will connect to the existing neighborhood water supply (17” existing water line) at one location at Denholm Drive. Domestic water and fire system water will be a joint use, from the same water main. All units that front on Denholm drive will connect to existing water main. Sewer service will flow from northwest to southeast exiting at Denholm Drive. The homes along Denholm Avenue will be served from individual laterals connected to an existing 8-inch sewer main in Denholm Drive. Sewer laterals from the right-of-way line to the individual unit are the sole responsibility of the individual home owner. Upon completion the sewer system will be turned over to the City of El Monte Public Works Department. Long term sewer maintenance will be funded through an existing sewer assessment district.

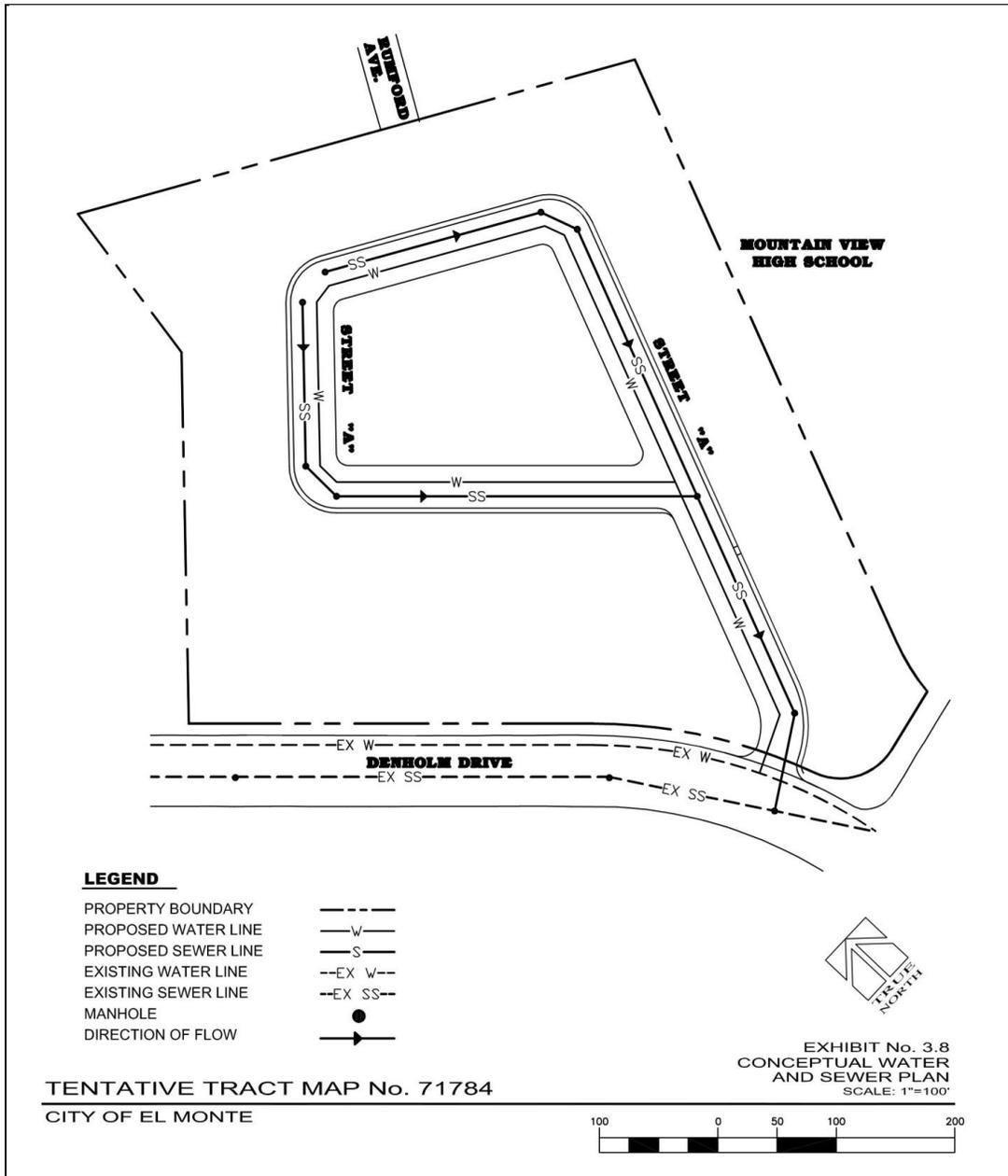


Exhibit 3.7

3.8 PUBLIC UTILITIES AND SERVICES

All new on-site utilities will be installed underground.

1. Electricity

Electrical service will be provided by Edison.

2. Natural Gas

The Southern California Gas Company will supply natural gas service to the project area.

3. Telephone

Verizon will provide local telephone service to the Mountain View Specific Plan area.

4. Cable

Time Warner (or other qualified service provider) will provide cable television services within the Specific Plan area.

5. Solid Waste

Solid waste collection and disposal shall be provided by the Valley Vista or the City's contracted service provider.

6. Wastewater

The Specific Plan area is within Los Angeles County Sanitation District. Sewer system will be maintained by City of El Monte Public Works Department. Sewer laterals from the Right-of-Way Line to the individual unit are the sole responsibility of the individual home owner. Long term sewer maintenance will be funded through an existing sewer assessment district.

3.9 SCHOOLS

The Mountain View Specific Plan area is located within the El Monte Union High School District, El Monte City School District and Mountain View School District is generally serviced by the following schools:

- Mountain View Elementary School- located on 12371 Felipe Street, is approximately 1.2 miles south of the Specific Plan area.
- Madrid Middle School - located on 3300 Gilman Road El Monte Ca, is approximately .5 miles from the Specific Plan area.
- Mountain View High School- located at 2900 Parkway Street, approximately 100 ft from the Specific Plan area.

3.10 POLICE

Police protection services are provided by the City of El Monte Police Department within the municipal boundaries of the City. The Police station is located at 11333 Valley Blvd across the street from city hall. El Monte Police department has reviewed Mountain View Specific Plan site plan and all floor plans for safety concerns. Every home will have motion sensor lights at front and back doors. All units will have photo sensor controlled light at front of garage for security

and ensuring night time visibility of addresses. Street lights will be installed at 150 ft intervals throughout the Mountain View Specific Plan area.

3.11 FIRE

The City of El Monte contracts with the County of Los Angeles Fire Department for fire and paramedic services. The nearest Fire Station is 3207 Cogswell rd., El Monte, ca 91732l, approximately 1 mile away. Los Angeles County Fire Department has reviewed Mountain View Specific Plan site plan and all floor plans for safety concerns. All streets meet the Los Angeles County Fire Department Accessibility standards, fire hydrant locations and water flow have been verified and all units will be fitted with fire sprinkler systems.

3.12 PUBLIC TRANSPORTATION

Public transportation within the City of El Monte is provided by Metro MTA. The closest bus Stop is on the corner of Valley Blvd and Durfee Ave. Bus line 190 and 194 service this stop. El Monte Station E is the closest Metro MTA station at 3501 Santa Anita Ave, El Monte. Foothill Transit uses the same bus station to provide service to the city of El Monte. Metro Link is available in the city of El Monte; 10925 Railroad Street, El Monte is the address. The city of El Monte provides two independent forms of transportation; El Monte Trolley and dial-a-ride. El Monte trolley station is located at 3650 Center Ave, El Monte. Dial-a-ride is available 7am-6pm Monday thru Friday and 8am thru 4pm Saturday and Sunday.

3.13 LANDSCAPE CONCEPT

The landscape concept for the Mountain View Specific Plan area complements the neo-traditional neighborhood theme of the project as shown in Exhibit 3.8. Canopy street trees will be installed along all streets, yards will be planted with marathon sod and planters filled with drought sensitive plants, bushes and groundcover. A minimum of two 12 ft, 24 inch box trees will be planted per unit. The landscape plan will be developed by a licensed landscape architect and approved by the Planning Director.



Exhibit 3.8

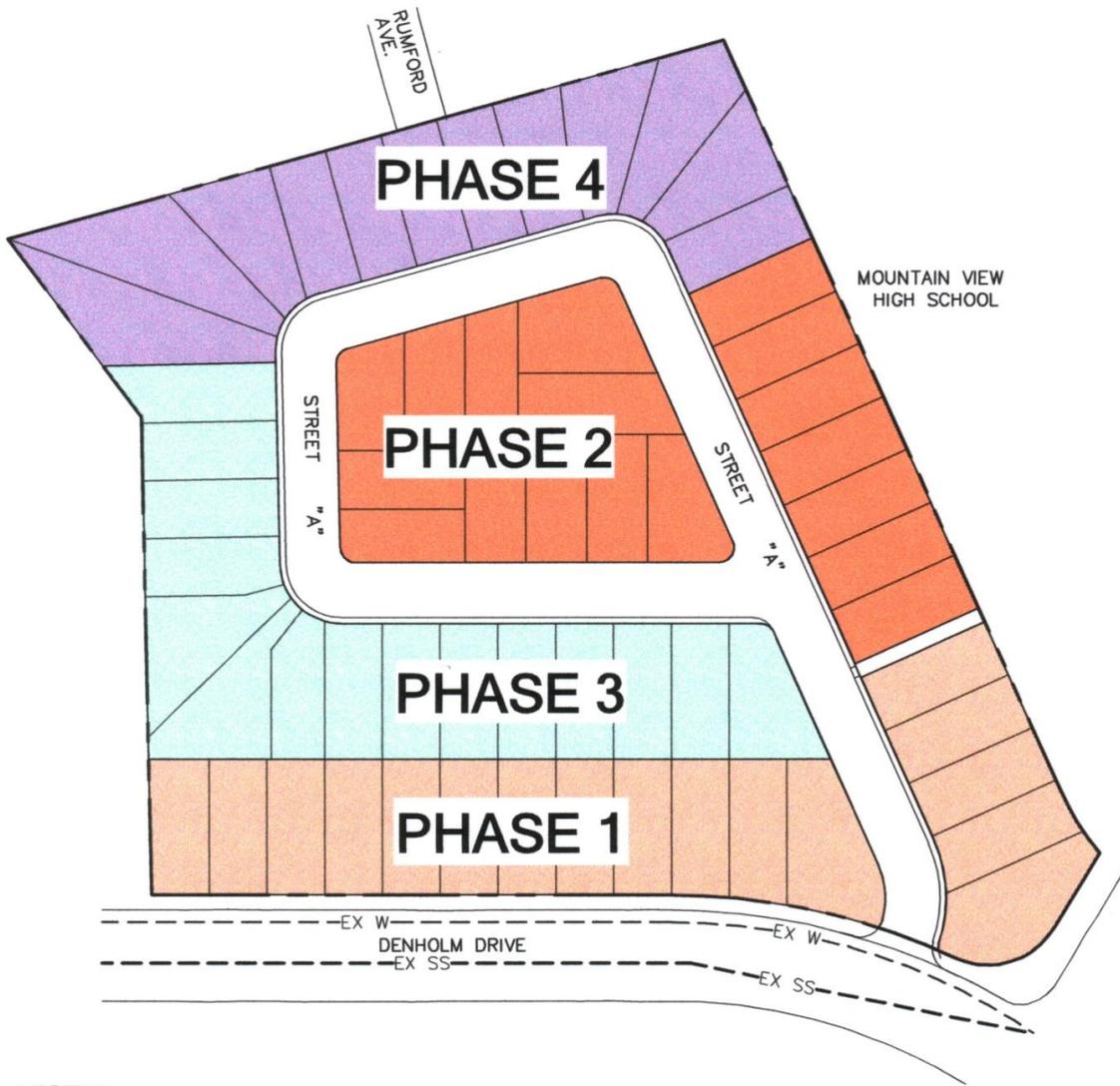
3.14 ARCHITECTURAL DESIGN CONCEPT

Architectural design for the Mountain View Specific Plan area will emphasize quality, and diversity. Classic architectural styles consistent with traditional craftsman architecture are intended to develop an image compatible with the existing neighborhoods of El Monte. The inherent simplicity and sense of timelessness of this architectural style has enabled it to remain popular in the San Gabriel Valley and are significant in building the traditional community character desired. Materials and craftsmanship will be a requirement, with detailing of all side and rear building elevations. Special attention will be paid to the front and garage door details because of the width of the homes.



3.15 PHASING

Grading of the finish pads will be done in 2 phases. Infrastructure and offsite improvements for the Mountain View Specific Plan area will occur in entirety before the residential construction begins on phase 1. Exhibit 3.9 shows the Construction Phasing Plan for the proposed development. The Construction Phasing Plan is designed to provide an adequate level of time for unit absorption and accommodate the development of each phase. Adjustments may be made to the phasing plan based on market factors, construction costs and the final interior layout of lots based on final engineering plans.



LEGEND

PROPERTY BOUNDARY - - - - -



TENTATIVE TRACT MAP No. 71784
CITY OF EL MONTE

EXHIBIT No. 3.9
CONCEPTUAL PHASING PLAN
SCALE 1-100'



3.16 FISCAL IMPACTS

Mountain View Specific Plan's 62 units will have a large fiscal impact on the City of El Monte. The current assessed value of the property is \$5,153,000. Post construction, the assessed value

will be in excess of \$28,000,000; over five times the predevelopment value. Mountain View Specific Plan development will increase property tax income, school bond income, assessment district income, school bond borrowing capacity, and create employment for local businesses and tradesmen in the City of El Monte. There is currently no sales tax generated from the site, therefore there will be no lost sales tax resulting from the zone change and general plan amendment.

Project Estimated Development Impact Fees;

1. Grading Plan Check: \$2159.00
 2. Tract Map Check: \$3,443.00
 3. National Pollutant Discharge Elimination System Fee: \$86,180.00
 4. Storm Drain: \$57,288.00
 5. Sewer: \$87,234.00
 6. Streets: \$50,530.00
 7. Traffic Impact: \$4,209.80
 8. Quimby: \$373,984.00
 9. Tech Enhancement: \$11,975.10
 10. Art in Public Places: \$280,000.00
 11. General Plan Maintenance fee (.0923%): \$25,844.00
- Total: \$983,228.90
- School Impact Fees (132,323 sq ft x \$2.97 per sq ft): \$393,000.00
- Total City of El Monte and School District Impact Fees: \$1,376,228.90

Does not include building permits or building plan check

3.17 AFFORDABLE HOUSING RESTRICTIONS

Developer shall agree to, and the city shall ensure that, the initial occupant of the moderate-income units that are directly related to the receipt of the density bonus in the Mountain View Specific Plan project area, as defined in Section 1351 of the Civil Code, are persons and families of moderate income, as defined in Section 50093 of the Health and Safety Code, and that the units are offered at an affordable housing cost, as that cost is defined in Section 50052.5 of the Health and Safety Code. The local government shall enforce an equity-sharing agreement, unless

it is in conflict with the requirements of another public funding source or law. The following apply to the equity-sharing agreement:

(A) Upon resale, the seller of the unit shall retain the value of any improvements, the down payment, and the seller's proportionate share of appreciation. The local government shall recapture any initial subsidy and its proportionate share of appreciation, which shall then be used within three years for any of the purposes described in subdivision (e) of Section 33334.2 of the Health and Safety Code that promote homeownership. City's appreciation shall be referred to as (c %) in example equation. Owner's appreciation shall be referred to as (d %) in example equation.

(B) For purposes of this subdivision, the local government's initial subsidy shall be equal to the fair market value of the home at the time of initial sale minus the initial sale price to the moderate-income household, plus the amount of any down payment assistance or mortgage assistance. If upon resale the market value is lower than the initial market value, then the value at the time of the resale shall be used as the initial market value. Initial Study shall be referred to as (b) in example equation. Fair market value shall be referred to as (f) in example equation. Sales price shall be referred to as (s) in example equation.

(C) For purposes of this subdivision, the local government's proportionate share of appreciation shall be equal to the ratio of the initial subsidy to the fair market value of the home at the time of initial sale.

Example Equations: $(f)-(s) = (b)$, $(b) / (f) = (c \%)$, and $(c \%) - (100\%) = (d \%)$

When (f) \$400,000 and (s) \$280,000;

$\$400,000 - \$280,000 = \$120,000$ than $\$120,000 / \$400,000 = 30\%$ than $30\% - 100\% = 70\%$

(D) For a time period of 10 years the property must be owned and occupied by the original city approved moderate-income household buyer or sold to a qualifying moderate-income household buyer. The initial subsidy may be transferred to a new moderate-income household buyer for perpetuity. No appreciation or equity profiting of any kind can take place for 10 years from original closing date of all designated moderate-income units. Only after 10 years may restricted moderate-income family units be transferred under the equity-sharing agreement.

4 DEVELOPMENT STANDARDS AND REGULATIONS

4.1 PURPOSE AND INTENT

The purpose of Development Standards and Regulations is to regulate design and development within the Mountain View Specific Plan area in conjunction with the El Monte Municipal Code. These regulations address the development of single-family residential housing and structures accessory to principal permitted uses. This Specific Plan regulates all development within the Mountain View Specific Plan area. In cases where sufficient direction for interpretation of these regulations is not explicit in this text, the El Monte Municipal Code shall provide direction, as determined by the Economic Development Director. In case of differences between this Specific Plan and the El Monte Municipal Code, the provisions and standards set forth in the Specific Plan shall prevail. In the absence of specific information in this document, the provisions of the Municipal Code shall govern. All construction and development within the Specific Plan area shall comply with applicable provisions of the Uniform Building Code (UBC) and the various related Mechanical, Electrical, and Plumbing Codes, the Grading and Excavation Code, and the Subdivision Code, all as adopted by the El Monte City Council.

4.2 GENERAL PROVISIONS

Applicability

These Development Standards and Regulations shall apply to all property within the Mountain View Specific Plan area. Licenses and permits for land development shall be issued only when it has been determined by the City (all departments, officials, or public employees vested with the authority to issue permits or licenses) that the proposed land uses are in conformance with the provisions of the Specific Plan.

Interpretation

The provisions of this Specific Plan shall be held to be minimum requirements in their application and interpretation unless Alternative Development Standards are approved per the procedures set forth in Chapter 5. The City of El Monte Economic Development Director shall administer the Mountain View Specific Plan and make decisions by the authority granted by this document. This administration by the Economic Development Director will also include other documents prepared under this Specific Plan, such as Tentative Tract Map 71784.

4.3 RESIDENTIAL SITE DEVELOPMENT

Purpose

The purpose of Residential Development Regulations is to provide standards for all residential development within the Mountain View Specific Plan area. The following sections detail the permitted land uses and development standards for individual residential site development.

Permitted Uses

The following uses are permitted within the Mountain View Specific Plan area:

1. Not more than one single-family unit on any lot as defined by chapter 17.04 of the El Monte Municipal Code

Accessory Buildings, Structures and Uses

1. Accessory buildings, structures and uses, where related and ancillary to the primary residence subject to use regulations set forth in the El Monte Municipal Code. These uses include but are not limited to: attached 2-car garages, porte cocheres, swimming pools, spas, covered patios, gazebos, and cabanas.
2. Home occupations, subject to the El Monte Municipal Code.

Temporary Permitted Uses

The following temporary uses shall be permitted within all residential planning areas of Mountain View Specific Plan:

1. Temporary home finder/sales center including mobile homes or trailers.
2. Temporary parking compounds for contractors' equipment including building materials, storage sheds or trailers for the purpose of building the 62 residential units in the Mountain View Specific plan. Residents of the Mountain View Specific Plan may not store building material, erect storage sheds or create temporary parking compounds at any time for any reason.
3. Real estate signs relating to the sale of real property on which the sign is located are permitted. No "For Rent" or "For Lease" signs are allowed at any time.
4. Buildings, structures and uses not listed in the preceding subsections of section 4.3 of the Mountain View Specific Plan shall be considered prohibited.

Residential Development Standards

1. Single-Family Residences
 - The minimum lot area, lot width, FAR, setbacks, and building height shall be as specified in Exhibit 4.1, Development Standards.
 - Roll-up garage doors are required.
2. Accessory Structures and Private Area Hardscape

No more than one detached accessory building shall be permitted for any one parcel. Accessory structures open or solid patio overhead structures shall not cover more than 100 square feet of the rear yard area and shall be set back a minimum of 5 feet from the rear and side property lines. No accessory structure shall be located within any front or side yard area. No more than 200 sq ft of concrete or other non permeable substance may be placed in any private rear yard area. A concrete path may be poured on gated side of the property from back of gate to the back corner of the home, not included in the 200 sq ft allowable back yard concrete. The 3x9 ft trash container concrete pad must be included in the gate side yard area. All units must contain a 3x9 ft concrete pad for trash containers, at all times, in the private open space. No concrete, pavers, stone work or any hardscape may be placed within any front yard area or side yard area in front of the gate. Front Yard is defined as any area from right-of-way line to the front (Posted Address) of the Dwelling Unit, side property line to side property line. Side yard is defined as any area between Dwelling Unit and the side Property Line. There are no entry or exit doors from the Dwelling Unit into the Side Yard. Rear Yard is defined as any area from the back of the dwelling unit to the back property line, side property line to property line. Rear yard is typically the opposite side of the Dwelling Unit's street access.

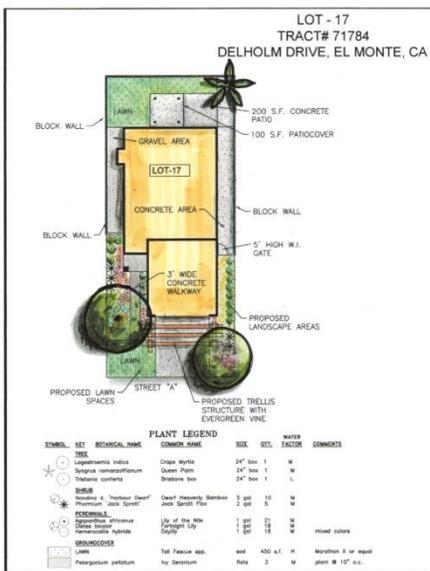
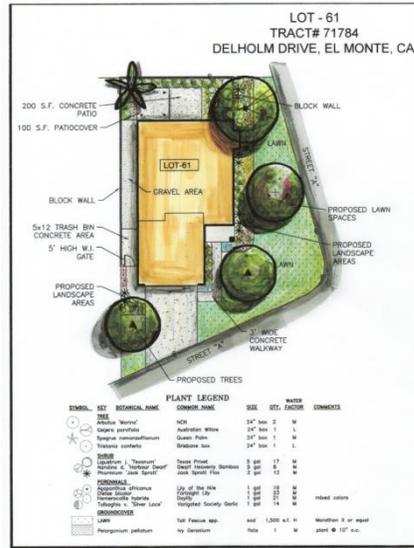
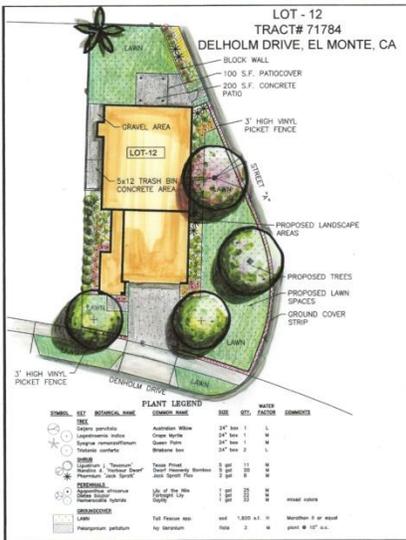
3. Walls and Fences

- Walls and fences adjacent to any public street and street corner side walls shall be constructed of durable long lasting decorative masonry, except where gates occur. Such walls shall be of uniform design throughout the Specific Plan area.
- Fences separating individual building lots, not visible from any public street may be constructed of grey precision block 6"x8"x16". Fences facing streets or visible in any way from the public right of way must be constructed of one sided Fawn colored split face block and limited to 6ft in height.
- Gates accessing individual building lot side yards shall be uniform in design and may be constructed of wood, tubular steel, vinyl or wrought iron.
- Lots 1-12 and 51 will have a max height 3 ft vinyl fence along the southern property line, one foot behind the sidewalk. No front or side yard fencing can be constructed on any other lot for any reason. All front yard fencing is prohibited in except lot 1-12 and 51.



4. Landscape

- Front yards for each dwelling unit shall be landscaped with marathon sod, shrubs and groundcover by the developer.
- Parkways shall be landscaped with a minimum of one 24” tree per lot and one 24” yard tree. A minimum of two 24” yard trees per lot will be provided for corner lots.
- Automatic irrigation systems are required for the front yard and side yards adjacent to public streets. These systems will cover adjacent parkways to be maintained by the homeowner.



PLANT LEGEND

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WATER FACTOR	COMMENTS
TREE							
(Symbol)	KEY	<i>Lagostromia indica</i>	Crape Myrtle	24" box	1	M	
(Symbol)	KEY	<i>Syagrus romanzoffianum</i>	Queen Palm	24" box	1	M	
(Symbol)	KEY	<i>Tristania conferta</i>	Brisbane box	24" box	1	L	
SHRUB							
(Symbol)	KEY	<i>Nandina d. 'Harbour Dwarf'</i>	Dwarf Heavenly Bamboo	5 gal	10	M	
(Symbol)	KEY	<i>Phormium 'Jack Spratt'</i>	Jack Spratt Flax	2 gal	5	M	
PERENNIALS							
(Symbol)	KEY	<i>Agapanthus africanus</i>	Lily of the Nile	1 gal	21	M	
(Symbol)	KEY	<i>Diets bicolor</i>	Fortnight Lily	1 gal	18	M	
(Symbol)	KEY	<i>Heimerocallis hybrids</i>	Daylily	1 gal	16	M	mixed colors
GROUNDCOVER							
(Symbol)	KEY	<i>Tall Fescue spp.</i>	Tall Fescue spp.	sod	450 s.f.	H	Marathon II or equal
(Symbol)	KEY	<i>Pelargonium peltatum</i>	Ivy Geranium	flats	3	M	plant @ 10" o.c.

5. Parking

- All units must maintain parking for 2 cars in the driveway and 2 cars in the garage.

Exhibit 4.1: Development Standards

MOUNTAIN VIEW SPECIFIC PLAN						SETBACKS		
LOT	ADDRESS	PLAN	ELEVATION	SQ FT	LOT SIZE	SIDE YARD	REAR YARD	DRIVEWAY
1		T2	B	2285	3460	5	15	18
2		T2-ALT R	A	2189	3382	5	15.5	18
3		T2-R	A	2285	3382	5	15	18
4		T2-ALT	B	2189	3382	5	15.5	18
5		T2-R	B	2285	3382	5	15	18
6		T2-ALT	A	2189	3382	5	15.5	18
7		T2-R	A	2285	3382	5	15	18
8		T2-ALTR	B	2189	3382	5	15.5	18
9		T2	B	2285	3382	5	15	18
10		T2-ALT R	A	2189	3403	5	15.5	18
11		T2	A	2285	3528	5	15	18
12		T2-ALT R	B	2189	4906	5	25	18
13		T-R	A	2009	4338	5	20	18
14		T2	B	2285	3382	5	15	18
15		2		1444	3115	5	29	18
16		T2	B	2285	3382	5	15	18
17		T2-R	A	2285	3382	5	15	18
18		T2-ALT	A	2189	3382	5	15.5	18
19		T2-R	B	2285	3382	5	15	18
20		T2	A	2285	3387	5	15	18
21		2-R		1444	3027	5	27.2	18
22		T	A	2009	4737	5 to 33	10	44
23		T	A	2009	4685	20	5	39
24		T2-R	A	2285	3290	5	15	18
25		T2	B	2285	3382	5	15	18
26		T2-R	A	2285	3382	5	15	18
27		T2-ALT	A	2189	3800	5	15.5 to 35	18
28		T2-R	B	2285	6651	5	12.7 to 84	51
29		T2	B	2285	6289	13	17.4 to 88	45
30		T2-R	B	2285	4163	5 to 28	15	21
31		T2-ALT	A	2189	3386	5	15.5	18
32		T2-R	B	2285	3386	5	15	18
33		T2	A	2285	3382	5	15	18
34		T2-R	B	2285	3382	5	15	18
35		T2-ALT	A	2189	3591	5	15.5	18
36		T2-R	B	2285	4178	5 to 14	11 to 21	19
37		T2	B	2285	4862	5 to 19	15 to 34	40
38		T2-R	B	2285	4134	5 to 27	15	20
39		T2-ALT	A	2189	3382	5	15.5	18
40		T2-R	A	2285	3382	5	15	18
41		T2	B	2285	3382	5	15	18
42		T2-R	A	2285	3382	5	15	18
43		T2-ALT	B	2189	3382	5	15.5	18
44		T2-R	B	2285	3382	5	15	18
45		T2ALT	A	2189	3382	5	15.5	18
46		T2-R	B	2285	3382	5	15	18
47		T2	A	2285	3382	5	15	18
48		T2-R	B	2285	3382	5	15	18
49		T2-ALT	A	2189	3382	5	15.5	18
50		T2-R	A	2285	3575	5	17.5	18
51		T2-ALT	B	2189	5351	5 to 25	34	18
52		2		1444	3605	5	24	18
53		T-R	A	2009	3360	5	15	18
54		T-ALT	B	2009	3360	5	15	18
55		T-R	A	2009	3360	5	15	18
56		2		1444	2767	5	20	18
57		T-ALT R	B	2009	3216	5	11	18
58		2		1444	2782	5	11	18
59		T	A	2009	3150	5	13.2	18
60		2-R		1444	2805	5	16	19
61		T	A	2009	4473	5	13	18
62		T2-R	B	2285	3845	5	19.2	21
AVG				2140	3655.8			

5 IMPLEMENTATION

5.1 ENFORCEMENT OF SPECIFIC PLAN

The Mountain View Specific Plan serves both a planning function and regulatory function. It is the means by which the City of El Monte General Plan is implemented on the El Monte property. The provisions in this Chapter are set forth to properly relate the Specific Plan to the provisions within the El Monte Municipal Code. If there is a conflict found between this Specific Plan and the City's Municipal Code, the contents of this Specific Plan shall prevail. Where the Specific Plan is silent, the provisions of the Municipal Code shall govern. Should future economic or development conditions make it desirable to amend this Specific Plan, the procedures described in Section 5.2 shall govern such amendments. This Specific Plan may be amended at any time in the same process by which it was originally adopted. Enforcement of the provisions of the Specific Plan shall be as follows:

- The Economic Development Director or designee shall be responsible for interpreting and enforcing the site development standards and design guidelines set forth in the Specific Plan.
- Any administrative interpretation of the Mountain View Specific Plan may be submitted for review to the Economic Development Director and shall be subject to appeal to the Planning Commission and the City Council in accord with provision set forth in the Zoning Ordinance.

5.2 AMENDMENTS TO SPECIFIC PLAN

Certain modifications to the Specific Plan text and exhibits may be necessary during the life of the project. Any modifications to this document shall occur in accordance with the amendment process described in this Section. These amendments, should they occur, are divided into two categories. Minor Adjustments allow for administrative changes subject to review and action by the Economic Development Director. All other proposed changes are considered Formal Amendments to the Specific Plan and shall be reviewed for approval by the Planning Commission utilizing the procedure by which the plan was adopted. All amendments shall be consistent with the El Monte General Plan and the purpose and intent of the Mountain View Specific Plan.

Minor Adjustments

Minor Adjustments are those modifications to the Specific Plan text and/or graphics which are consistent with the overall purpose and intent of the Mountain View Specific Plan. These minor changes may be made administratively by the Economic Development Director, subject to appeal to the Planning Commission, and subsequently the City Council. These changes include but are not limited to:

1. The addition of new information to the Specific Plan maps or text that does not change the effect of any concepts or regulations. For example, interior remodel or exterior painting using colors consistent with Mountain View Specific Plan Pallet.
2. Changes to the community infrastructure such as street layout or widths, drainage, water, and wastewater systems which do not have the effect of increasing development capacity in the Specific Plan area, decreasing the development by no more than 10%, or altering the major design concepts of the Specific Plan.
3. Boundary adjustments, easement locations and minor design feature changes.
4. Phasing adjustments.
5. Other administrative items determined to be appropriate by the Economic Development Director within the scope of authority of the Mountain View Specific Plan and the El Monte Municipal Code.

Formal Amendments

All Specific Plan modifications which do not meet the criteria of an Administrative Action shall be deemed to require a formal amendment to the approved Specific Plan. All formal amendments to the Mountain View Specific Plan shall require submission of a code amendment and be in compliance with the requirements of chapter 17.26 of the El Monte Municipal Code, reviewed for approval by the Planning Commission and subject to appeal to the City Council. Whether classified as administrative or formal amendments, all such changes to the Specific Plan shall reflect the same comprehensive analysis which was undertaken in the adoption of the Specific Plan and may require additional environmental review. The amendment application shall satisfy the following criteria:

1. Demonstrate that the proposed amendment meets the goals and objectives of the Specific Plan and General Plan.
2. Ensure that any impacts from the amendment can be satisfactorily mitigated.

3. Provide a strikeout/underline copy of the Specific Plan text when changes are proposed, and update any Specific Plan exhibits affected by the proposed amendment.
4. Update any Specific Plan technical studies and/or provide additional environmental studies deemed necessary by the Economic Development Director and/or other City officials.

5.3 METHODS AND PROCEDURES FOR IMPLEMENTATION

Applicability

When any condition occurs that is not provided for by these regulations, those provisions provided for by the El Monte Municipal Code that are most applicable for the most similar condition, and which do not conflict with the policies and provisions of this plan as determined by the Economic Development Director shall apply. Where provisions of the Mountain View Specific Plan are in conflict with the El Monte Municipal Code, the Mountain View Specific Plan shall take precedence. Where the Specific Plan is silent, the provisions of the municipal code shall govern.

1. Hearing

When the Mountain View Specific Plan application is deemed complete by the Economic Development Director and has met and completed all the requirements of the Environmental Quality Act and the various technical studies as required in chapter 17.67 of the El Monte municipal code, the application will be scheduled for a public hearing with the Planning Commission within 30 days. Such application may accompany other applications, such as a Conditional Use Permit, Zone Change, Tentative Tract Map or General Plan Amendment application, and may be heard at the same public hearing. Such public hearing shall be noticed as required by the City of El Monte Municipal Code.

The Planning Commission shall take action by resolution recommending granting or denying approval of the applications to the City Council. The City Council, after receipt of the report and recommendations from the Planning Commission shall hold a final hearing hereon. Such public hearing shall be noticed as required by the El Monte Municipal Code.

Building Permits

No building permit shall be issued for any development within the Specific Plan area, or part thereof, until the Economic Development Director, Planning Commission and City Council have approved the Specific Plan.

Expiration of Approval

In any case where a Specific Plan and related entitlement approval have been granted and a building permit not issued within 12 months after the effective date of granting thereof, the time shall be automatically extended in accordance with the remaining time on the accompanying Vesting Tentative Tract Map.

Extensions

Extensions of time for any Specific Plan or other related entitlement approvals shall be determined by the Planning Commission. Extensions shall not be considered unless a letter specifying the following information is received by the Economic Development Director before the date on which the approval expires:

1. A description and documentation of good faith efforts to effectuate the plan;
2. A description and documentation of acts, conditions or events beyond the permittee's control which precluded project implementation; and

Minor Modifications

Minor modifications may be made to the Site Plan which are consistent with the overall purpose and intent of the Mountain View Specific Plan. These minor amendments may be made administratively by the Planning Director, subject to appeal to the Planning Commission. These changes include but are not limited to:

1. Minor changes to the community infrastructure, such as drainage, water, and wastewater systems.
2. Lot line adjustments and easement locations. Lots can't be created or deleted, only minor property line adjustments.
3. Other administrative items determined to be appropriate by the Planning Director within the scope of authority of the Mountain View Specific Plan and the El Monte Municipal Code.

5.4 OTHER PERMITS AND DISCRETIONARY ACTIONS

General Plan Amendment

A General Plan Amendment application shall be submitted to the City Council pursuant to the City of El Monte Municipal Code, to create the Mountain View Specific Plan land use designation.

Zone Change Application

A Zone Change Application shall be submitted to the City Council to apply the SP-2 (Specific Plan 2) zone to the property consistent with Exhibit 3-3.

Tentative Subdivision Application

This proposed development requires the approval of a Tentative Tract Map or a Vesting Tentative Tract Map. A Vesting Tentative Map confers a vested right to proceed with development in substantial compliance with the ordinances, policies, and standards in effect at the time the application for the Vesting Tentative Map is approved, as provided in Government Code Section 66498.1. A Vesting Tentative Map shall be processed in a manner pursuant to requirements of the City's Subdivision Ordinance.

5.5 FINANCING AND MAINTENANCE OF IMPROVEMENTS

Infrastructure Financing

Installation of all infrastructure improvements will be privately financed and will include:

1. Water and sewer facilities.
2. Street improvements including pavement, landscaping, lighting and signs.
3. Storm Water system.
4. Telephone, gas, electric and cable television facilities located within the public street rights-of-way.

Maintenance

Public facility maintenance will be performed by the following entities:

1. Public streets and Storm Channel will be accepted for dedication and will be maintained by the City's Public Works Division.
2. Storm drains will be maintained by the Los Angeles County Flood Control District.
3. Water facilities will be maintained by the San Gabriel Valley Water Company.
4. Sewer facilities will be maintained by the El Monte Public Works Department.

Maintenance of landscaped parkways within the public right-of-way will be the responsibility of the homeowner whose property immediately adjoins the right-of-way. Easements for maintenance will be prepared by the developer and approved by the City.

5. Establishment of a Community Facilities District. The developer of the Mountain View Specific Plan shall establish and implement the "Mountain View Specific Plan Community Facilities District" to specifically fund the long range maintenance of the public roadways, sidewalks, and lighting fixtures within the public right-of-way in the specific plan area. The initial special tax shall be assessed at \$17 per unit, per month or \$204 per year.

6 ARCHITECTURAL DESIGN GUIDELINES

6.1 Introduction

An historic San Gabriel Valley architectural theme is intended to aid designers in developing a classic architectural image compatible with the best of existing El Monte neighborhoods. Architectural styles will include a mix of Craftsman and Traditional Americana, for a diverse and interesting streetscape. Their inherent simplicity and sense of elegance has enabled these styles to remain popular over long periods of time and are applicable in building the traditional community character desired. Front covered porches are encouraged as significant architectural features in order to create a varied residential street frontage, and a low-profile interface with the street and surrounding neighborhoods. Appropriate materials and craftsmanship will be a requirement with detailing of the most visible building elevations. The following sections and exhibits describe the general architecture design guidelines as well as the individual architectural styles and features prescribed for Mountain View Specific Plan.

6.2 General Architectural Design Guidelines

Building layout and Massing

1. Structures and their related architectural elements should be visually consistent to provide a unified architectural theme.
2. A variable dwelling unit setback, defined as a minimum 2-foot deviation of the front yard setback to the most forward projecting element of a dwelling unit, is encouraged.
3. Doorways connecting front porches to interior living spaces are encouraged.
4. Floor plans should be varied and reversed to avoid repetitive elevations. The overall street scene should be arranged to ensure that identical houses do not align directly across the street or adjacent to each other.
5. Covered porches should be utilized to provide focal points and visual interest in addition to providing outdoor living spaces.
6. Entrances should be clearly defined and inviting.
7. Corner plotting, defined as wrap-around or two-sided architecture is encouraged.
8. For street facing garages, color variety or a minimum 2-foot garage offset (either forward or backward) from the front of the house is encouraged.

9. Building height shall be limited to 2 stories and a maximum height of 30 feet from pad elevation.

Architectural Details

The materials suggested by these guidelines are those which best reflect traditional materials and design, and are summarized below.

1. The underside of eaves, porches and colonnades should be wood planking or exterior plaster.
2. Exterior columns for trellises, porches or colonnades shall utilize warm materials and colors which are compatible with the natural environment.
3. Bold trim and patterns are encouraged for diversity.
4. Buildings and their elements should be varied in the textures, colors and materials to provide diversity and a unique streetscape, not only with themselves, but with the surrounding structures and environment.
5. Patio trellises, arbors and other exterior structures may be of stucco, wood or precast concrete, and should reflect the historic architectural style.
6. Materials should enrich the building to give it a sense of character and integrity.
7. Materials which are similar to those specified herein and provide the intended appearance may be substituted for consideration during the design review process.
8. Principal roof forms should be gabled or hipped with varied pitches.
9. Creating jogs in the ridgeline is encouraged.
10. Roof lines shall be broken and varied with an overall horizontal context.

Materials and Colors

1. Architectural materials and colors used should reflect light earth colors of the surrounding environment.
2. Subtle accent colors may be used to identify special areas such as entries.
3. Color should not be used as an attention seeking architectural element but rather to articulate entries or other architectural features.
4. Colors that are in the opinion of the Economic Development Director considered to be bright, luminescent, and incompatible with the establish pallet heron shall not be permitted.

Side and Rear Elevation Detailing

1. Window trim used on front elevation will be repeated on all side and rear elevations.
2. Window breaks/mullion detailing will be repeated on all side and rear elevations at locations immediately adjacent to public streets.

6.3 Architectural Styles

Craftsman

The Craftsman Architectural style was inspired primarily by the work of the Greene brothers who practiced in Pasadena from 1893 to 1914. These homes feature low pitched gable roofs, exposed roof rafters and decorative braces under gables, porches with roofs supported by square posts or columns and wood clapboard, stucco, and stone exteriors.

Craftsman architectural details are summarized below:

- **Form and Mass:** Low pitched gabled roofs with porches, either full or partial width with roof supported by square columns.

Materials and Colors: Materials used for piers, columns, and solid porch balustrades are varied. Stone, clapboard, brick or stucco are all common; they frequently occur in combination. Colors vary with a mix of earth tones with higher accents for windows, piers, and columns. Exposed rafters, rake boards and fascia are typically painted complementary colors.

Architectural Details: Craftsman doors tend to be simple panel colonial doors. Windows will feature divided lights as grids at front elevations.

CRAFTSMAN ELEVATIONS



Traditional “Americana”

Traditional "Americana" homes grew out of the post WWII era evolving a modern, clean, "honest" departure from conventional architecture. The homes are similar to ranch houses, one or two stories with low-pitched roofs and broad facades. The architectural style is typified by its lack of decorative detailing, and its use of porches and shutters.

Form and Mass: Two-level homes with low-pitched hip or gabled roof and some porch structures.

Materials and Colors: Varied warm tones, with the use of stucco and wood, siding for architectural detail.

Architectural Details: Details include eaves, porch-roof supports, wood columns, and decorative window details and shutters.

TRADITIONAL ELEVATIONS

