



# MODIFICATION COMMITTEE AGENDA

## CITY OF EL MONTE MODIFICATION COMMITTEE

TUESDAY, JANUARY 21, 2020

5:00 P.M.

CITY HALL WEST – CONFERENCE ROOM A  
11333 VALLEY BOULEVARD

### OPENING OF MEETING

#### **CITY OF EL MONTE MODIFICATION COMMITTEE**

##### **CHAIRPERSON**

ROBERTO ESTRADA CRUZ

##### **CITY PLANNER**

JASON MIKAELIAN

##### **CHIEF BUILDING OFFICIAL**

TODD MORRIS

- 1. Call Meeting to Order**
- 2. Flag Salute**
- 3. Roll Call**
- 4. Public Comments**

Citizens wishing to address the Modification Committee on land use and development matters may do so at this time. Note that the Committee cannot respond to or take any action on the item.

Citizens wishing to speak on an agenda item will be given the opportunity to speak after the item is presented by staff.

Limit your comments to three (3) minutes. State your name and address the record.

Phone: (626) 258-8626  
[www.elmonteca.gov](http://www.elmonteca.gov)  
[planning@elmonteca.gov](mailto:planning@elmonteca.gov)

PUBLIC HEARING

**5. Modification No. 37-19**

*Address:* 10527 Hickson Street/ APN: 8576-025-020

*Request:* The Applicant is requesting a modification to reduce the required second story side yard setback from 5'-0" to 2'-0" from the first floor for the construction of a new, two-story, 2,100 square foot Single Family Residence. The subject site is located in the R-1A (One-family Dwelling) zoning district. This request is made pursuant to Chapter 17.20 (Modification/Variance) of the El Monte Municipal Code (EMMC).

*CEQA Determination:* Article 19. Categorical Exemptions – Section 15303 (New Construction or Conversion of Small Structures) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

*Recommendation:* Approve subject to conditions

*Case Planner:* Adrian Perez, Administrative Assistant

**6. Modification No. 33-19**

*Address:* 4453 Cedar Avenue / APN: 8570-011-035

*Request:* The Applicant is proposing to legalize an approximately 396 sq. ft. patio cover located at the rear of an existing single-family residence. Modification No. 33-19 is requested to modify the rear yard setback from the required 20'-0" to 5'-0" to legalize the patio cover. The subject site is located in the R-1B (One-family Dwelling) zoning district. This request is made pursuant to Chapter 17.20 of the El Monte Municipal Code (EMMC).

*CEQA Determination:* Article 19. Categorical Exemptions – Section 15303 (New Construction or Conversion of Small Structures) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

*Recommendation:* Approve subject to conditions

*Case Planner:* Sandra Elias, Assistant Planner

NEXT SCHEDULED MODIFICATION COMMITTEE MEETING

**Tuesday, February 11, 2020 at 5:00 P.M.**

City Hall West – Conference Room A

**TO:** MODIFICATION COMMITTEE

**FROM:** BETTY DONAVANIK  
COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

JASON C. MIKAELIAN, AICP  
CITY PLANNER

**BY:** ADRIAN PEREZ  
PLANNING DIVISION

**SUBJECT:** MODIFICATION NO. 37-19

**LOCATION:** 10527 HICKSON STREET/ APN: 8576-025-020

**APPLICANT:** WALLACE FU  
40 E. HUNTINGTON DR.  
ARCADIA, CA, 91006

**PROPERTY OWNER:** YAN ZHANG  
10527 HICKSON STREET  
EL MONTE, CA, 91731

**ENVIRONMENTAL DETERMINATION:** ARTICLE 19. CATEGORICAL EXEMPTIONS – SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENVIRONMENTAL QUALITY (CEQA) ACT OF 1970 AND THE CEQA GUIDELINES, AS AMENDED.

**RECOMMENDATION:** ADOPT A CATEGORICAL EXEMPTION & APPROVE MODIFICATION NO. 37-19, SUBJECT TO CONDITIONS

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**REQUEST:**

The Applicant is requesting a Modification to reduce the required second story street side yard setback from 5'-0" to 2'-0" from the first floor for the construction of a new, two-story, 2,100 square foot single-family residence. The subject site is located in the R-1A (One-family Dwelling) zoning district. This request is made pursuant to Chapter 17.20 (Modification/Variance) of the El Monte Municipal Code (EMMC).

**SUBJECT PROPERTY:**

<b>Location:</b>	Northwest corner Hickson Street & Esto Avenue
<b>General Plan:</b>	Low Density Residential
<b>Zone:</b>	R-1A (One-Family Residential)
<b>Street Frontage:</b>	Hickson Street (38 feet)
<b>Lot Size:</b>	6350 square feet (0.14 acres)
<b>Existing Site Improvements:</b>	<u>Current Status:</u> Vacant lot <u>To-Be-Constructed:</u> 2,100 SF Single Family Dwelling

**SURROUNDING PROPERTIES:**

	<b>General Plan:</b>	<b>Zoning:</b>	<b>Land Use:</b>
<b>North:</b>	Low Density Residential	R-1A (One-Family Dwelling)	Single-Family Residential
<b>South:</b>	Industrial Business Park	M-2 (General-Manufacturing)	Warehouse/Office
<b>West:</b>	Low Density Residential	R-1A (One-Family Dwelling)	Vacant Land
<b>East:</b>	Industrial Business Park	M-1 (Light-Manufacturing)	Warehouse/Office

**AERIAL PHOTO AND ZONING:**



**BACKGROUND:**

Prior to 2011, the subject property at 10527 Hickson Street was originally zoned M-2 (General Manufacturing) and developed with an electrical substation. The zoning of the property was then changed to R-1A as part of the 2011 General Plan update. All structures on the property were demolished between 2014 and 2018. The former substation was actually made up of four (4) single-family parcels, with the subject property being located at the street corner. All the parcels were then sold to different owners. Staff is currently reviewing construction plans for the other three (3) proposed dwellings.

The subject property is located at the southeastern portion of the Arden Village residential neighborhood. To the south and southeast are industrially zoned and developed properties. The property to the immediate south is also zoned industrial, with a new logistics center under construction.

**DISCUSSION:**

As previously noted, the applicant is proposing to construct a new single-family dwelling. Since the property is a corner lot, the minimum front yard setback is 20 feet and the minimum street side yard setback is ten (10) feet. For the second floor, the EMMC requires an additional setback of five (5) feet. This is to reduce impacts related to the bulk and mass of buildings. However, the applicant proposes to reduce the second story setback facing the street side yard setback to two (2) feet.

**PROJECT ANALYSIS:**

Table 1 below provides the development standards for the R-1A zone, and identifies whether the proposed project complies with each standard. The table has been prepared so that the Modification Committee may better understand the reasoning behind staff's recommendation.

*Table 1: Development Standards*

<b>Development Feature</b>	<b>R-1A Requirement</b>	<b>Proposed</b>	<b>Requirement(s) Met?</b>
Minimum Lot Area per Dwelling	6,000 square feet	6,350 square feet	Yes
Minimum Lot Dimensions	60 feet wide by 100 feet deep	38 to 54.5 feet wide by 117 feet deep	No; Legal Non-conforming
Front Yard Setback	20 feet; For lots greater than 100 feet deep, 25% of lot or 25 feet, whichever is less	24.5 feet	Yes
1 <sup>st</sup> Floor Street Side Yard Setback (East)	10 feet	11.5 feet	Yes

<b>Development Feature</b>	<b>R-1A Requirement</b>	<b>Proposed</b>	<b>Requirement(s) Met?</b>
1 <sup>st</sup> Floor Interior Side Yard Setback (West)	5 feet	5 feet	Yes
Rear Yard Setback	10 feet	28 feet	Yes
2 <sup>nd</sup> floor Front Yard Setback	Additional 5 feet from 1 <sup>st</sup> floor setback	5 feet	Yes
2 <sup>nd</sup> floor Street Side Yard Setback (East)	Additional 5 feet from 1 <sup>st</sup> floor setback	2 feet	<b>No; Modification Requested</b>
2 <sup>nd</sup> floor Interior Yard Setback (West)	Additional 5 feet from 1 <sup>st</sup> floor setback	5 feet	Yes
Height	2.5 stories and 35 feet	2 stories and 25 feet	Yes
Lot Coverage	40%	30%	Yes

**FINDINGS OF FACT:**

In order to approve the project, the Modification Committee is required to make certain findings. Section 17.20.020 of the EMMC (Necessary Conditions) outlines the four (4) required findings and conditions to be met in order to approve any Modification:

**FINDING:**

- A. There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity;

**FACT:**

The subject property is located on an irregular shaped lot with five (5) sides and a substandard lot width of only 38 to 54.5 feet (while the EMMC requires a minimum lot width of 60 feet). Of the 14 residential parcels that front Hickson Street, only the subject property and property immediately to the west (which was also part of the former electrical substation) have lot widths less than 60 feet. However, the subject property is more restricted than the property to the west, as it is a corner lot (with a minimum street side yard setback of ten (10) feet).

**FINDING:**

- B. The granting of such variance will not be materially detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity in which the property is located;

**FACT:**

Approving the Modification will not be detrimental to the public health or welfare in the vicinity in which the subject property is located. Second story setbacks are primarily in place to reduce the bulk and mass of buildings, and further protect the privacy of the adjacent residences. For the subject property, the reduced second story setback faces the street side yard (not another residence). The remaining setbacks of the proposed dwelling will meet the standards of the EMMC; therefore, the privacy of the adjacent residences will be maintained. In addition, the building will include a porched entrance, various roof heights and multiple wall projections/setbacks, resulting in less bulk and mass.

**FINDING:**

- C. Because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under the identical zone classifications;

**FACT:**

The subject property is located on an irregular shaped lot with five (5) sides and a substandard lot width of only 38 to 54.5 feet (while the EMMC requires a minimum lot width of 60 feet). Of the 14 residential parcels that front Hickson Street, only the subject property and property immediately to the west (which was also part of the former electrical substation) have lot widths less than 60 feet. However, the subject property is more restricted than the property to the west, as it is a corner lot (with a minimum street side yard setback of ten (10) feet).

**FINDING:**

- D. The granting of such variance will not adversely affect the comprehensive general plan.

**FACT:**

The subject property has a General Plan Land Use Designation of Low Density Residential. The subject property is located in the City's Arden Village residential neighborhood. Staff finds that the proposed dwelling and design conforms to the goals and policies of the 2011 General Plan.

**CONDITIONS OF APPROVAL:**

1. Comply with all current Building Code requirements.
2. Attach a copy of the final decision letter with the conditions of approval to be submitted with the building plans.
3. The applicant shall not deviate from the approved plans. Any future additions to the dwelling shall comply with all provisions of the EMMC.

**RECOMMENDATION:**

Staff recommends that the Modification Committee evaluate the proposal and consider the following Action:

1. Adopt a Categorical Exemption under Section 15303 (Class 3- New Construction or Conversion of Small Structures) pursuant to the California Environmental Quality Act and Guidelines, as amended; and
2. Adopt the finding of Facts to approve Modification No. 37-19, subject to the conditions of approval.

**ATTACHMENTS:**

- A. Project Plans
- B. Public Hearing Notice
- C. Radius Map
- D. Site Posting Photo

# 10527 HICKSON ST

## NEW SINGLE FAMILY RESIDENTIAL HOUSE

RECEIVED  
 DEC 09 2019  
 BY: MV.....

DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECT.

**WYF**  
 ARCHITECTURE

ARCHITECTURE • PLANNING  
 INTERIOR DESIGN  
 40 EAST HUNTINGTON DRIVE  
 ARCADIA, CA, 91006  
 TEL: 626-447-7971

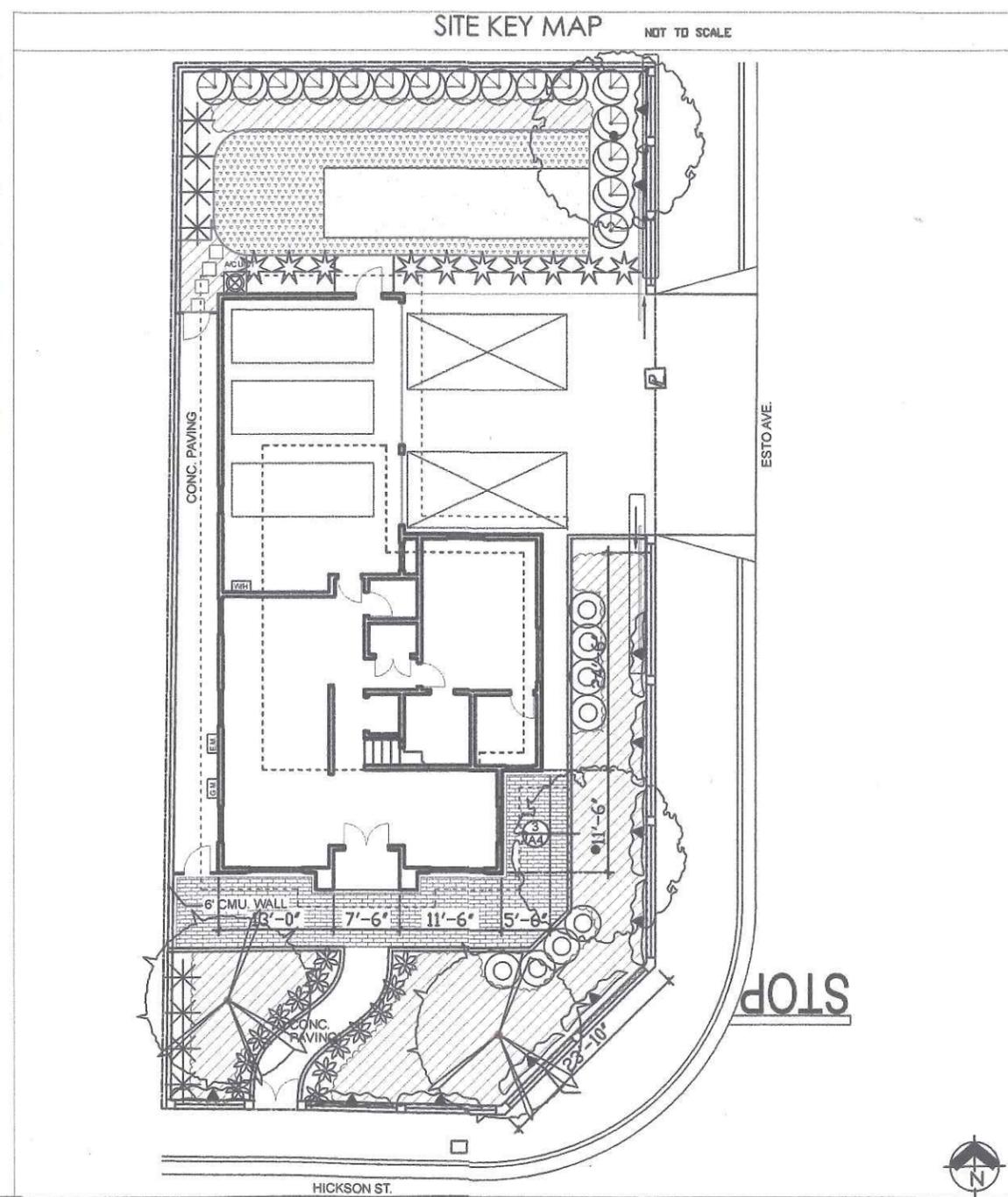
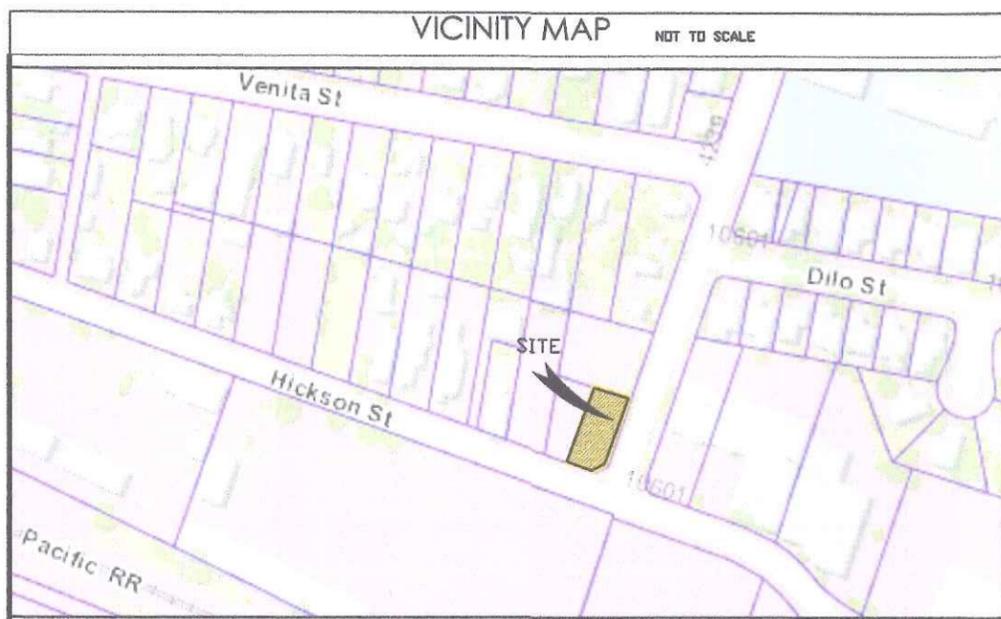
APN 8576-025-020

LEGAL DESCRIPTION: TRACT # 11538 LOT ON NE LINE OF HICKSON ST COM SE THEREON 40.37 FT FROM MOST W COR OF LOT 20 TH N 19°23'45" E 117.4 FT TH S 71°18'41" E 54.23 FT TH SW AND FOLLOWING BDRY LINE OF SD LOT TO BEG PART OF LOT 20

CONSULTANTS:

CIVIL: NOT APPLICABLE  
 LANDSCAPE: NOT APPLICABLE  
 ELECTRICAL/MECHANICAL/PLUMBING: NOT APPLICABLE

SHEET INDEX	
SHEET	DESCRIPTION
T-1	TITLE SHEET
ARCHITECTURAL	
A-0	DEMOLITION SITE PLAN & FENCE DETAILS
A-1	SITE PLAN / FLOOR PLANS
A-2	ROOF PLAN / CEILING PLANS
A-3	ELEVATIONS / MATERIAL SCHEDULE
A-4	SCHEDULES / DETAILS / UTILITY PLANS
A-5	DETAILS
A-6	DETAILS
GENERAL NOTES & DETAILS	
S-1	GENERAL NOTES & DETAILS
S-2	DETAILS
S-3	ROOF/FLOOR FRAMING PLAN, FOUNDATION PLAN
S-4	SSV2
IRRIGATION PLAN	
L1	IRRIGATION PLAN
L2	PLANTING PLAN
L3	IRRIGATION DETAILS
L4	IRRIGATION / PLANTING SPECIFICATIONS
ENERGY CALCULATION	
T-24	ENERGY CALCULATION
T-24	ENERGY CALCULATION



GRAPHIC SYMBOLS		
DETAIL NUMBER	SHEET NUMBER	SHEET NUMBER
SHEET NUMBER	SHEET NUMBER	DOOR NUMBER
WINDOW NUMBER	EQUIPMENT NUMBER	GRID LINE NUMBER
SPOT ELEVATION	FINISH	FINISH ITEM NUMBER

MATERIAL SYMBOLS	
	STUD PARTITION
	MASONRY WALL
	CONCRETE
	EARTH OR COMPACT FILL
	DRAINAGE FILL
	METAL
	BATT INSULATION
	VOID, CONTINUOUS BLOCKING
	FINISHED WOOD
	GYPSUM WALLBOARD
	PLYWOOD
	RIGID INSULATION
	PARTICLE/FIBER BOARD
	MOISTURE RESISTANT BOARD
DEFERRED SUBMITTAL	
N/A	

PROJECT SUMMARY	
PROJECT ADDRESS:	10527 HICKSON ST. EL MONTE CA 91731
APPLICABLE CODES:	2016 CBC 2016 CMC 2016 CPC 2016 CEC 2016 CFC 2016 GGBC 2016 CAL. RESIDENTIAL CODE 2016 CALIFORNIA ENERGY CODE
ZONE:	R-1A
OCCUPANCY GROUP:	R3/U
OWNER:	YAN ZHANG
OWNER:	YAN ZHANG
1ST FLOOR AREA:	1197 S.F.
2ND FLOOR AREA:	903 S.F.
TOTAL FLOOR AREA:	2100 S.F.
LOT AREA:	6350 S.F.
GARAGE AREA:	695 S.F.
FRONT PORCH:	34 S.F.
LANDSCAPE AREA:	1815 S.F.
FLOOR AREA RATIO:	33%
L.C.:	1127+695-X100% 6350 = 30% <<45%

SCOPE OF WORK	
- NEW SINGLE FAMILY HOUSE, INCLUDE 1 LIVING, 1 DINING, 1 KITCHEN, 1 FAMILY ROOM, 2 BATH IN V.I.C. & BATHROOMS, 2 MASTER BEDROOMS, 2 BEDROOMS, 1 BATHROOM, 1 POWDER ROOM	
- NEW 3-CAR GARAGE	
- NEW LANDSCAPING ON SITE	
- NEW ELECTRICAL, PLUMBING, MECHANICAL WORKS	
- PROPERTY LINE WALLS	

OWNER:  
 YAN ZHANG  
 (626)999-5830

SITE ADDRESS:  
 10527 HICKSON ST  
 EL MONTE CA 91731

TITLE SHEET/  
 DEMOLITION  
 SITE PLAN

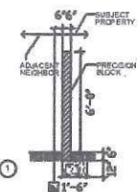
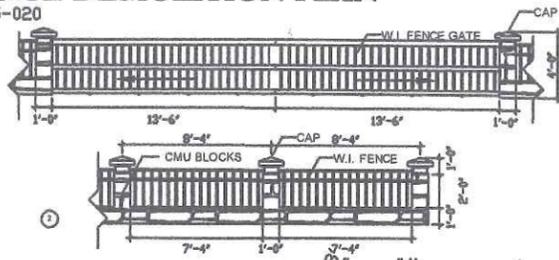
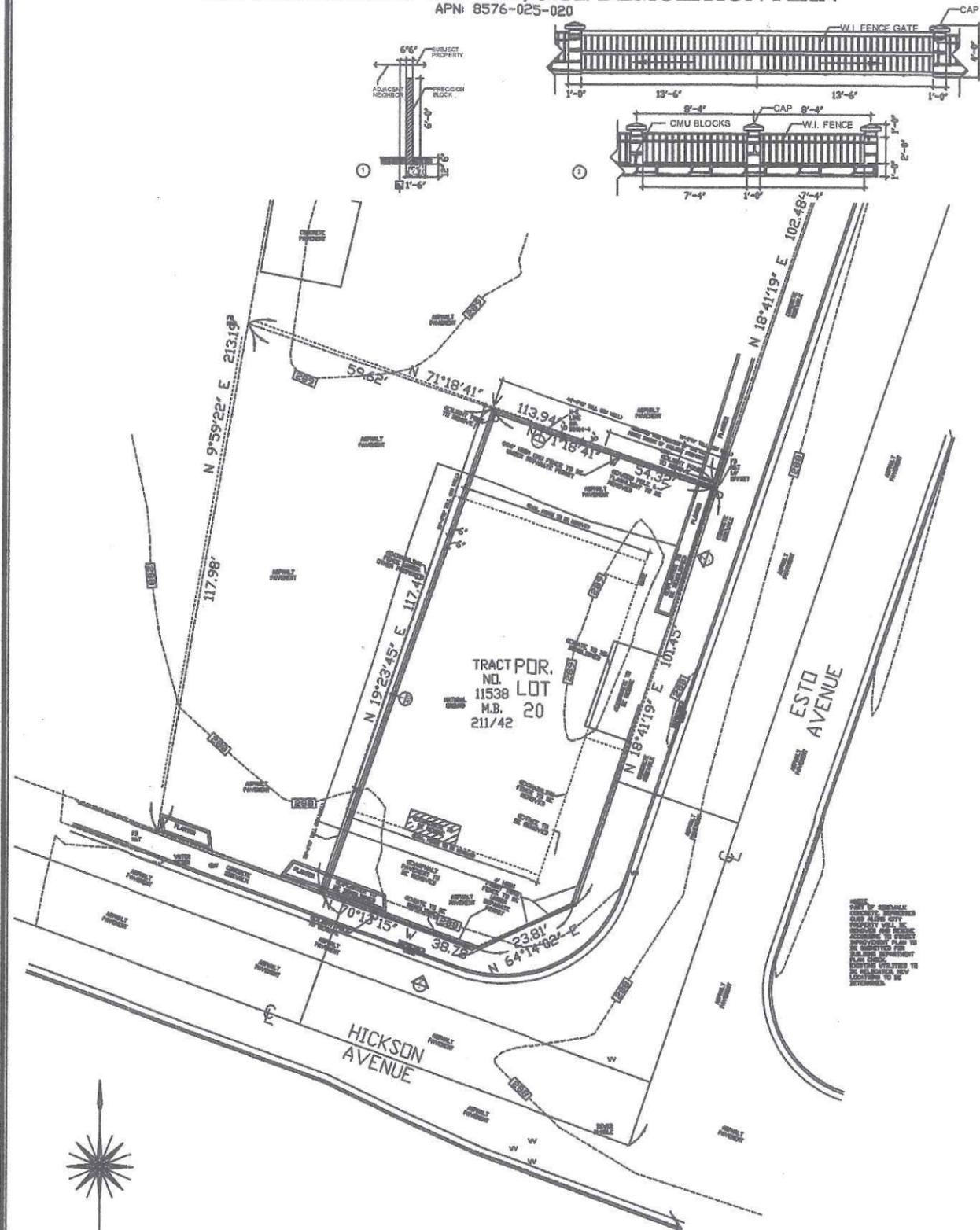
REVISION	DESCRIPTION	DATE
△	PLAN CHECK	12-05-18
△	PLAN CHECK	1-25-18

DATE: October 05, 2018  
 PROJECT NO: 17-041  
 SCALE: AS NOTED  
 DRAWN BY: JCL  
 CHECK BY: WYF

NOT TO SCALE IF PRINTED ON 11" X 17" PAPER

T 1

**TOPOGRAPHICAL SURVEY/SITE DEMOLITION PLAN**  
 APN: 8576-025-020



**FLOOR-CEILING SYSTEMS, WOOD FRAMED**

GA FILE NO. FC 5115	PROPRIETARY	1 HOUR FIRE	50 to 54 STC SOUND
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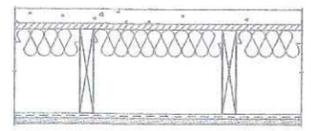
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,  
GLASS FIBER INSULATION

One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 1/2" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh. 3" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.

**PROPRIETARY GYPSUM BOARD**  
 United States Gypsum Company      5/8" SHEETROCK® Brand Gypsum Panels, FIRECODE® C Core

Approx. Ceiling Weight:	2 psf
Fire Test:	UL R3453-7, 5-1-70; UL Design L516
Sound Test:	KAL L 224-28-65, 3-30-65 (74 C & P)
IIC & Test:	KAL L 224-27-65, 3-30-65

**ONE-HOUR FLOOR-CEILING ASSEMBLY DETAIL**



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**WYF**

ARCHITECTURE • PLANNING  
 INTERIOR DESIGN  
 40 EAST HUNTINGTON DRIVE  
 ARCADIA, CA, 91006  
 TEL: 626-447-7971

CONSULTANTS:

CIVIL: NOT APPLICABLE  
 LANDSCAPE: NOT APPLICABLE  
 ELECTRICAL/MECHANICAL/PLUMBING: NOT APPLICABLE

OWNER:  
 YAN ZHANG  
 (626)899-5830

SITE ADDRESS:  
 10527 HICKSON ST  
 EL MONTE CA 91731

**SITE DEMOLITION PLAN & FENCE DETAILS**

NOTES

REVISION	DESCRIPTION	DATE
△	PLAN CHECK	12-05-18
△	PLAN CHECK	1-25-18

DATE: October 05, 2018  
 PROJECT NO.: 17-041  
 SCALE: AS NOTED  
 DRAWN BY: JCL  
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NOT TO SCALE IF PRINTED ON 11" X 17" PAPER



**LEGEND**

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CL	CENTER LINE	—	—	—	—
CO	CONCRETE	—	—	—	—
CS	CONCRETE	—	—	—	—
CU	CURB DRIVE	—	—	—	—
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CV	CONCRETE	—	—	—	—
CA	CONCRETE	—	—	—	—
CD	CURB DRIVE	—	—	—	—
CL	CENTER LINE	—	—	—	—
CO	CONCRETE	—	—	—	—
CS	CONCRETE	—	—	—	—
CU	CURB DRIVE	—	—	—	—
CV	CONCRETE	—	—	—	—
CA	CONCRETE	—	—	—	—
CD	CURB DRIVE	—	—	—	—
CL	CENTER LINE	—	—	—	—
CO	CONCRETE	—	—	—	—
CS	CONCRETE	—	—	—	—
CU	CURB DRIVE	—	—	—	—
CV	CONCRETE	—	—	—	—
CA	CONCRETE	—	—	—	—
CD	CURB DRIVE	—	—	—	—
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CA	CONCRETE	—	—	—	—
CD	CURB DRIVE	—	—	—	—
CL	CENTER LINE	—	—	—	—
CO	CONCRETE	—	—	—	—
CS	CONCRETE	—	—	—	—
CU	CURB DRIVE	—	—	—	—
CV	CONCRETE	—	—	—	—
CA	CONCRETE	—	—	—	—
CD	CURB DRIVE	—	—	—	—
CL	CENTER LINE	—	—	—	—
CO	CONCRETE	—	—	—	—
CS	CONCRETE	—			



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INTERIOR DESIGN  
40 EAST HUNTINGTON DRIVE  
ARCADIA, CA, 91006  
TEL: 626-447-7971

CONSULTANTS:

CIVIL: NOT APPLICABLE  
LANDSCAPE: NOT APPLICABLE  
ELECTRICAL/MECHANICAL/PLUMBING: NOT APPLICABLE

OWNER:  
YAN ZHANG  
(626)999-5899

SITE ADDRESS:  
10527 HICKSON ST  
EL MONTE CA 91731

### ROOF PLAN/ CEILING PLANS

NOTES

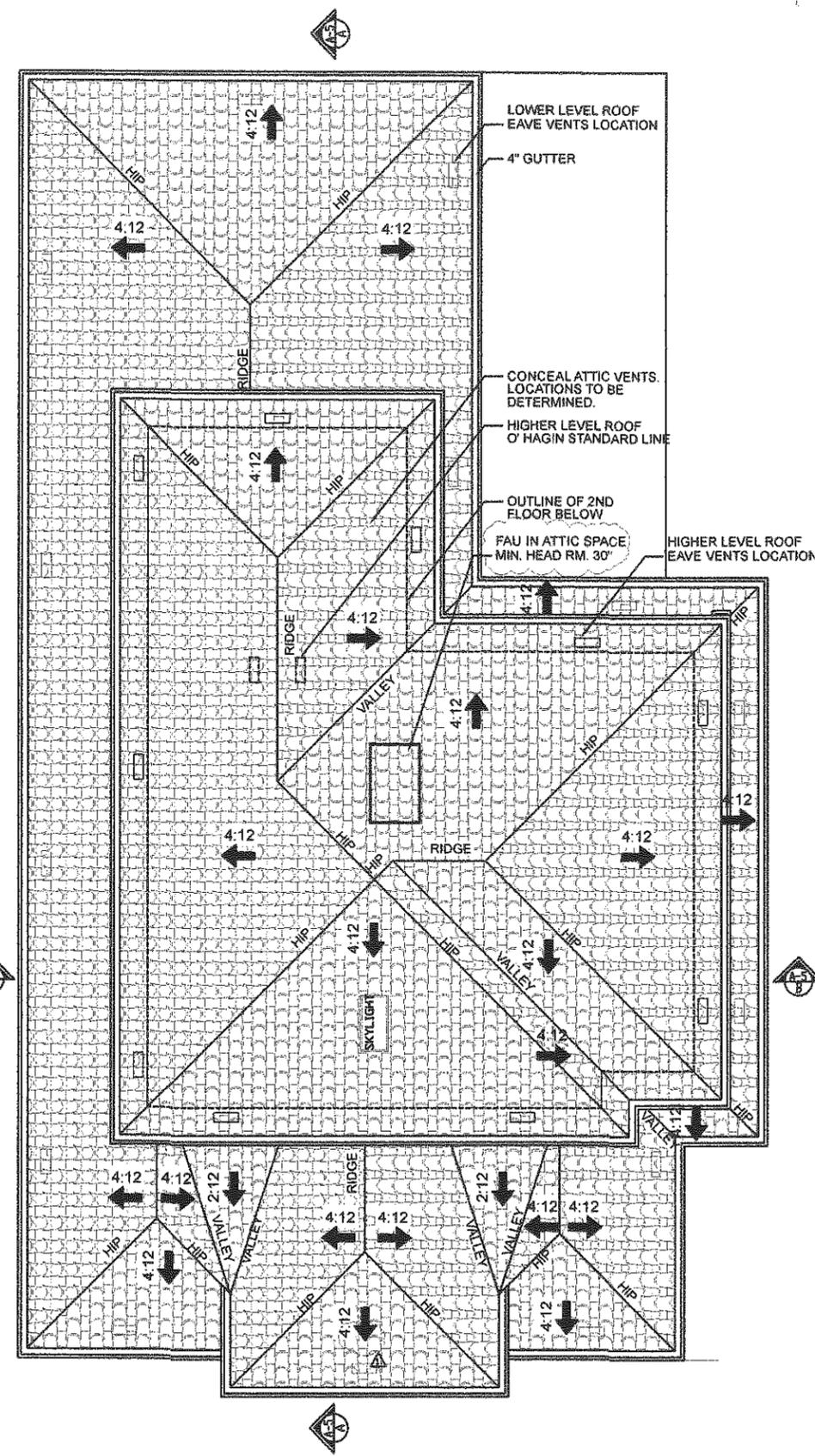
REVISION	DESCRIPTION	DATE
1	PLAN CHECK	12-05-18
2	PLAN CHECK	1-25-18

DATE: October 05, 2018  
PROJECT NO: 17-041  
SCALE: AS NOTED  
DRAWN BY: JCL  
CHECK BY: WYF

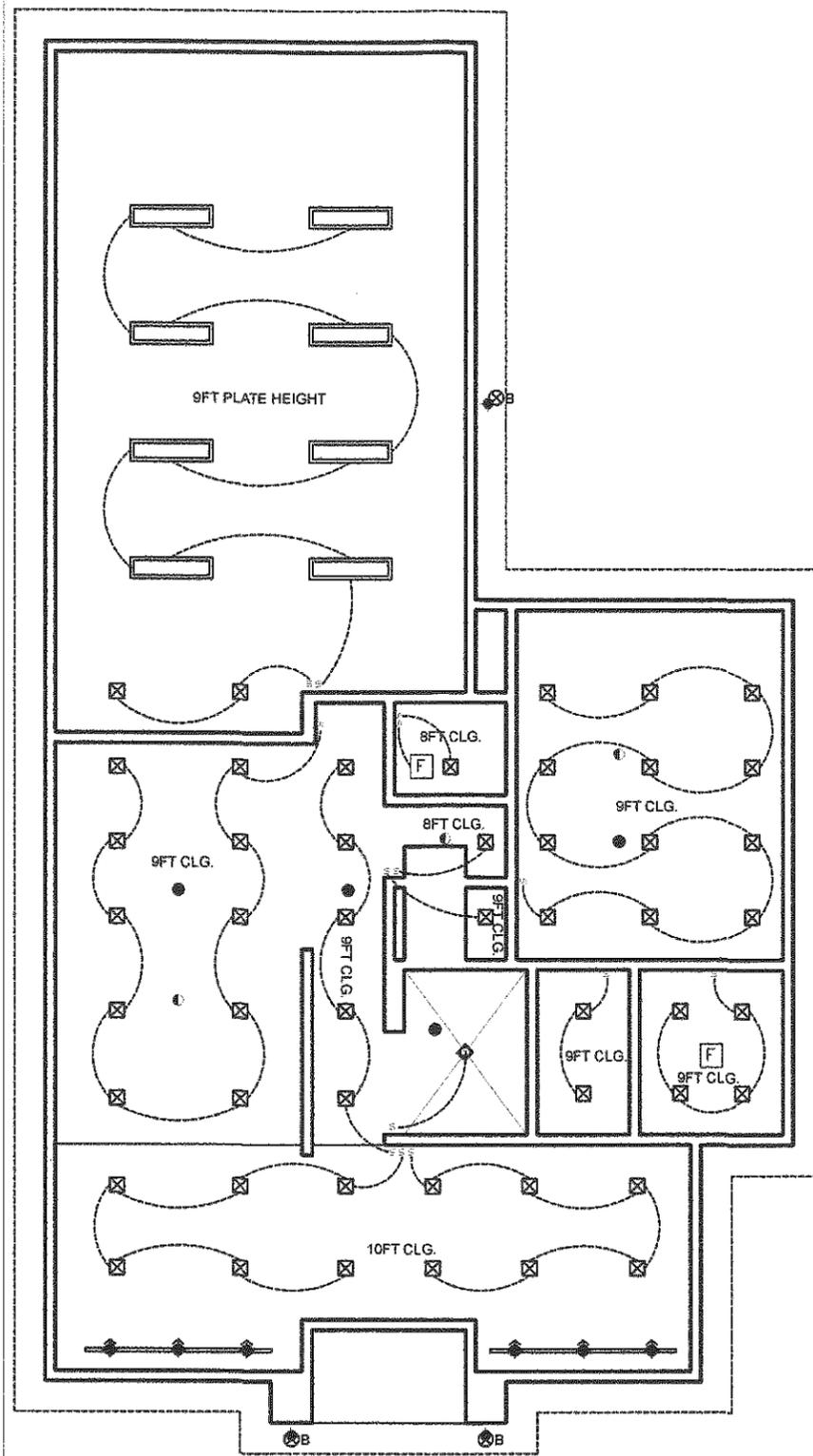
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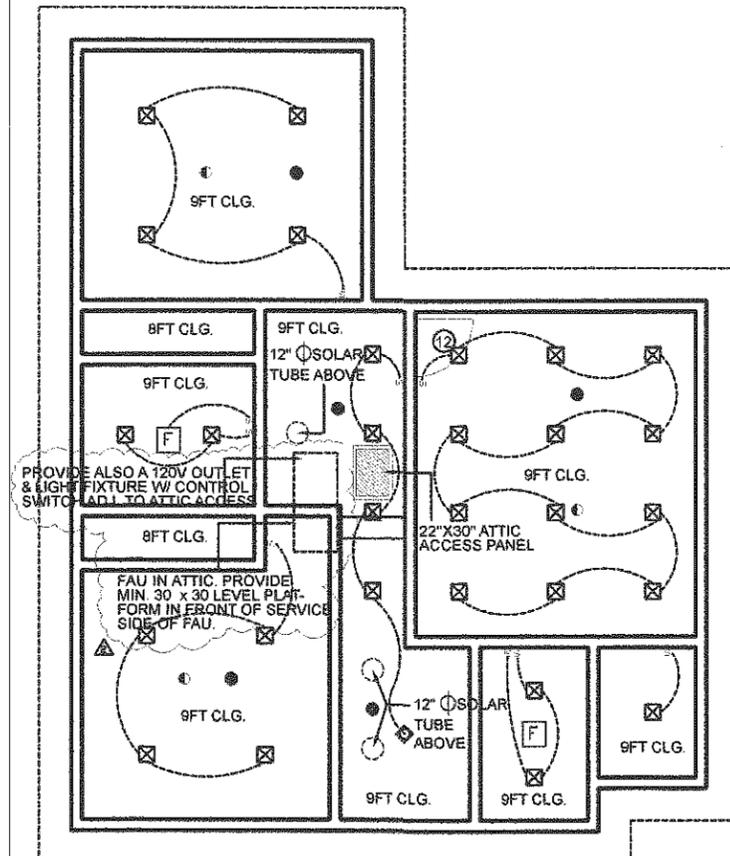
A2



ROOF PLAN SCALE: 1/8"=1'-0"



1ST FLOOR CEILING PLAN SCALE: 1/4"=1'-0"



2ND FLOOR CEILING PLAN SCALE: 1/4"=1'-0"

- LEGEND**
- TRACK LIGHT
  - FLUORESCENT STRIP LIGHT
  - OUTDOOR LIGHT
  - ENCLOSED CEILING LUMINAIRE
  - 12" SOLAR TUBE
  - WP WATER PROOF
  - SW NEW LIGHT SWITCH
  - NSL NEW LIGHT SWITCH W/ DIMMER
  - LF LIGHT FIXTURE (W/ COMPACT FLUOR. BULB)
  - PROVIDE DIMMER IN ALL ROOMS.
  - WP WATER PROOF
  - EL EXTERIOR LIGHT W/MOTION SENSOR
  - 3S 3-WAY SWITCH
  - HS HARD WIRED SMOKE DETECTOR W/ BATTERY BACK UP
  - ± APPROXIMATE ELEVATION
  - F NEW EXHAUST FAN CAPABLE OF 6 AIR CHANGES PER HR (50 CFM) (AIR TO TERMINATE OUTSIDE THE BLDG.)
  - U INDIVIDUALLY SWITCHED UNIT HEATER
  - SM 1/4" SURFACE MOUNT FLUORESCENT FIXTURE
  - ⊕ HARD WIRED GARDEN HOSE/SIDE ALARM WITH BATTERY BACKUP
  - M MANUAL ON MOTION SENSOR
  - D DIMMER
  - 100V DIRECT WIRED W/ BATTERY BACKUP SMOKE DETECTOR, ALL DETECTORS INTER CONNECTED.
  - SWITCHED EXTERIOR LIGHT FIXTURE
  - ◆ LED OR MR16 CABINET LIGHTING
  - ▲ CONTINUOUS UNDER SHELF LED LIGHTING
  - ▲ VANITY LIGHT, OPTIONAL
  - CEILING LIGHT
  - ◇ PENDENT LIGHT
  - PICTURE LIGHT
  - HEAT LAMP
  - ARM LIGHT
  - INTERCOM SVC
  - HOSE BIB
  - PHONE JACK
  - TV OUTLET
  - SMART CONTROL PANEL (WALL MOUNTED)

\*NOTE  
ALL OUTLETS IN BATH ROOM TO HAVE GFCI PROTECTION.  
ALL DWELLING UNIT RECEPTACLE OUTLETS TO BE TEMPER-RESISTANT.

\*NOTE  
NOT ALL SYMBOLS ARE BEING USED IN THIS PLAN.

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CONSULTANTS:

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ELECTRICAL/MECHANICAL/PLUMBING: NOT APPLICABLE

OWNER:  
YAN ZHANG  
(626)899-9830

SITE ADDRESS:  
10527 HICKSON ST  
EL MONTE CA 91731

ELEVATIONS

NOTES

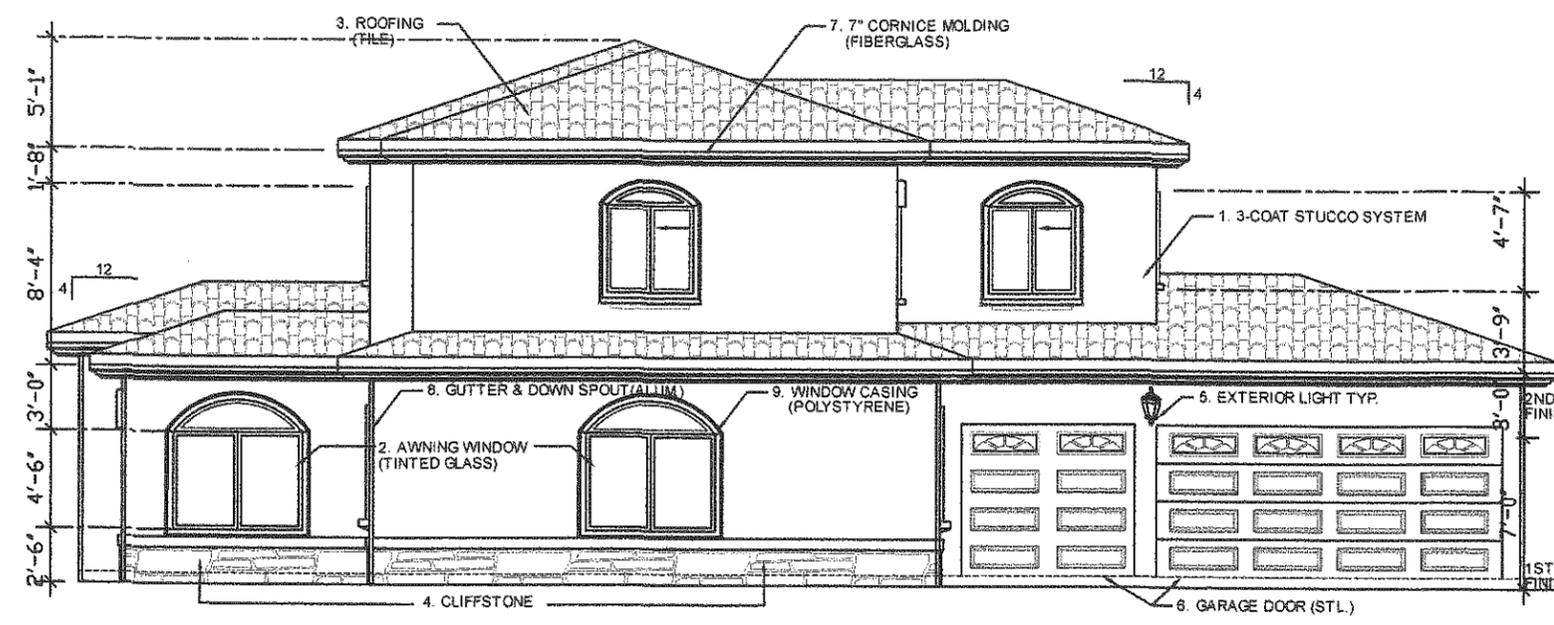
REVISION	DESCRIPTION	DATE
△	PLAN CHECK	12-05-18
△	PLAN CHECK	1-25-19

DATE: October 05, 2018  
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SCALE: AS NOTED  
DRAWN BY: JCL  
CHECK BY: WYF

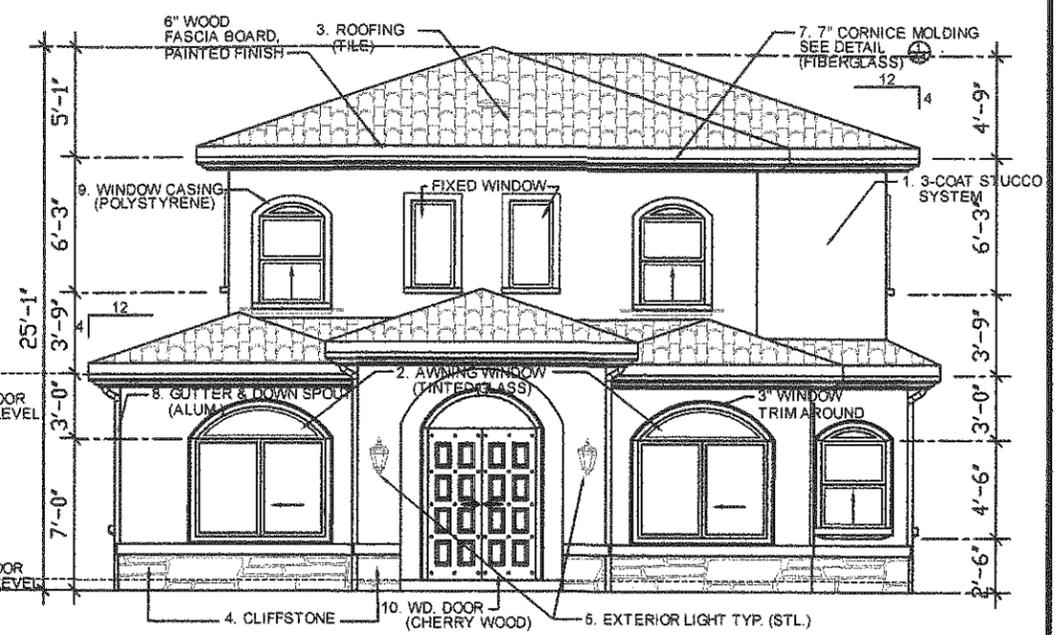
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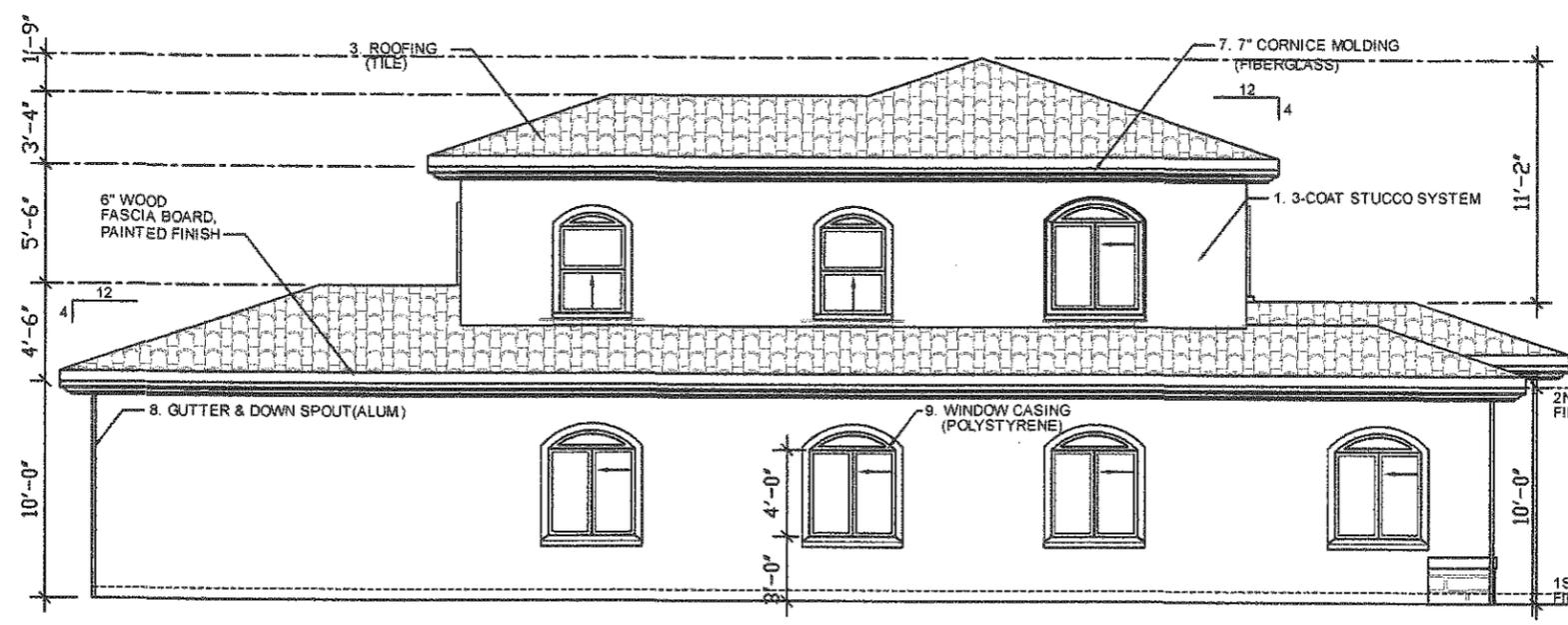
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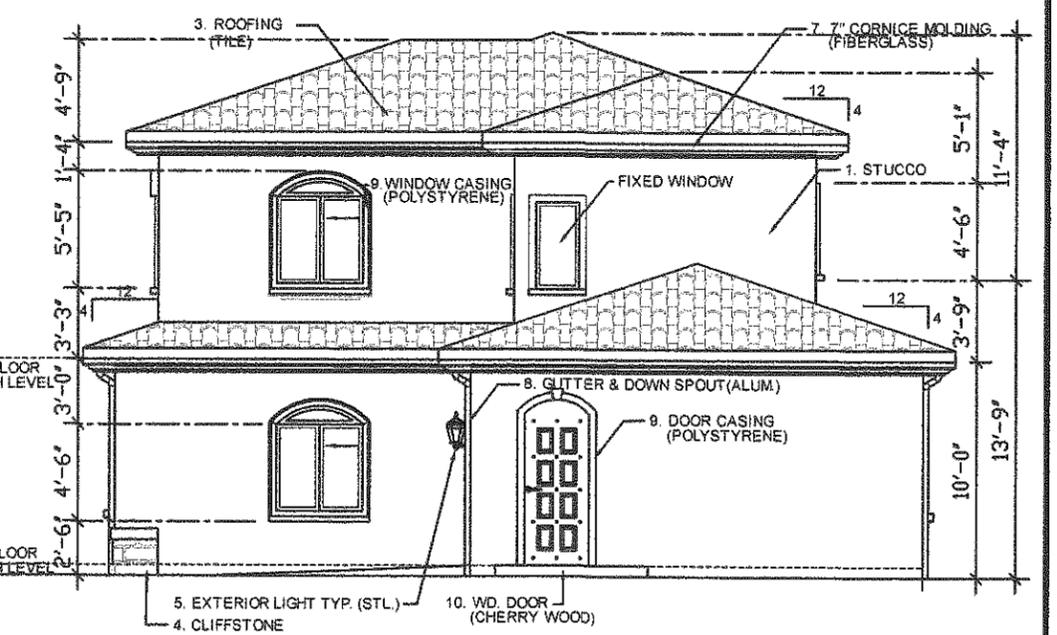
EAST ELEVATION SCALE: 1/4"=1'-0"



SOUTH ELEVATION SCALE: 1/4"=1'-0"

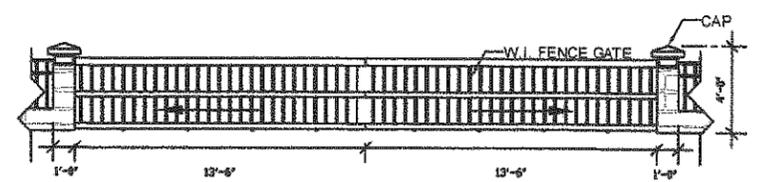


WEST ELEVATION SCALE: 1/4"=1'-0"



NORTH ELEVATION SCALE: 1/4"=1'-0"

SUBJECT	MATERIAL	COLOR	STYLE	MANUFACTURER	NOTES
1. EXTERIOR WALL	STUCCO	IVORY POWDER	COLOR COAT STUCCO	MERLEX STUCCO	PIGMENTED CEMENTITIOUS FINISH / ESR-1607
2. WINDOW	TINTED GLASS	GREY	AWNING WINDOW	JELD-WEN	STANDARD LOE-366 INSULATED GLASS
3. ROOFING	TILE	RANGE OF CHARCOAL	CAPISTRANO	EAGLE ROOFING	597 SLATE RANGE / CRRC #: 0918-0046 / ESR-1900
4. EXTERIOR STONE VENEER	STONE	MESQUITE	CLIFFSTONE	ELDORADO STONE	STONE DIMENSIONS: 1.25'-6" H x 4'-22" L x 1'-2" D / ESR-1215
5. PORCH LIGHT	STEEL	BLACK	CLEAR BEVELED GLASS	HAMPTON BAY	MODEL # BPP1611-BLK
6. GARAGE DOOR	STEEL	MOCHA BROWN	RAISED-PANEL	CLOPAY	SOLID ELEGANT LONG / SUNSET 601(SS801)
7. CORNICE MOLDING	FIBERGLASS	WHITE	STANDARD	ROYAL CORINTHIAN	CR 124X8 / 7"H x 6-3/4"P x 98"L / DETAILS ON A4
8. GUTTER & DOWN SPOUT	ALUMINUM	GLACIER WHITE	ALUMA-KORE	EDCO PRODUCTS, INC.	ENTEX COOL CHEMISTRY PAINT
9. WINDOW & DOOR CASINGS	POLYSTYRENE	WHITE	FAUX LIMESTONE	DESIGN STONE WORKS	COATING CAST @ 3/8-1/2" THICK
10. WOOD DOOR	CHERRY WOOD	DARK PATINA	KNOTTY ALDER DOOR	JELD-WEN	1208 / OPTION 1 3/4" DIAMOND CLAVOS



GATE ELEVATION SCALE: 1/4"=1'-0"

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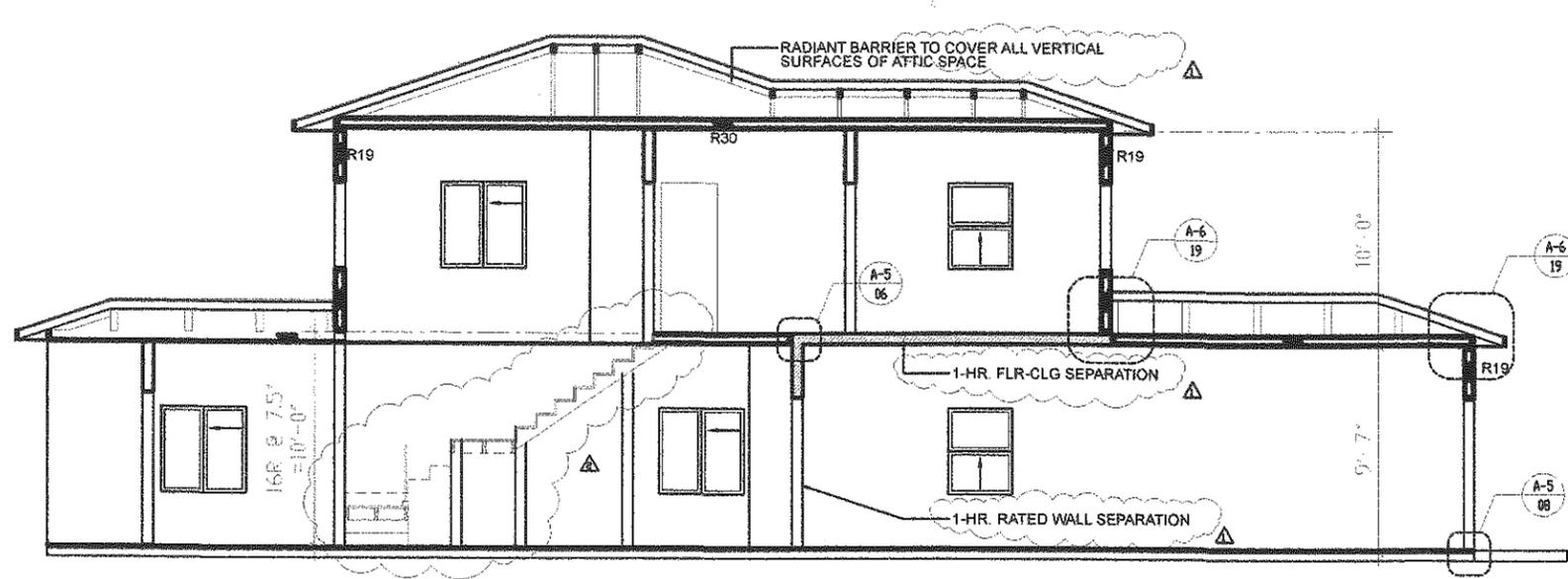
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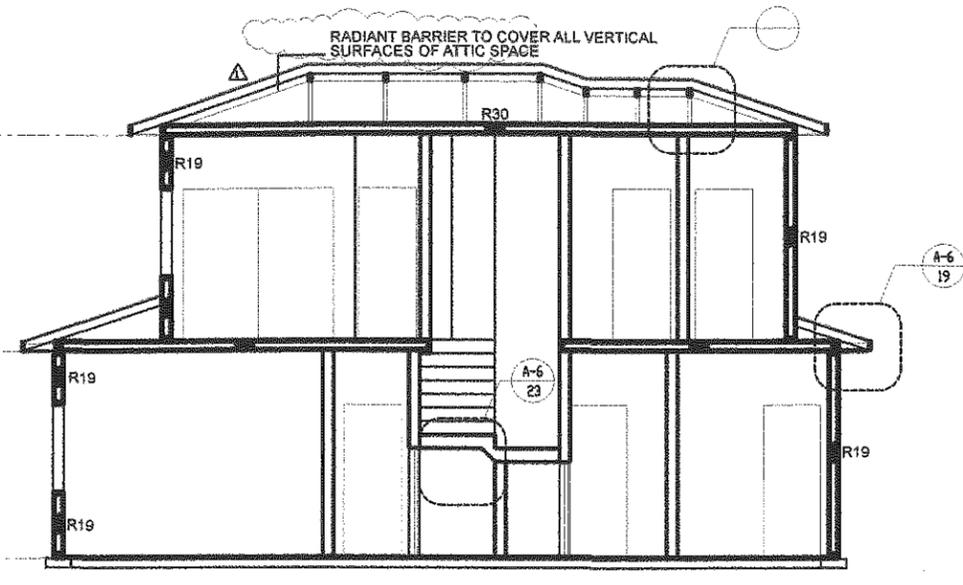
SITE ADDRESS:  
1827 HICKSON ST  
EL MONTE CA 91731

SCHEDULES/  
DETAILS  
UTILITY PLANS

REVISION	DESCRIPTION	DATE
1	PLAN CHECK	12-05-18
2	PLAN CHECK	1-25-18



AA LONGITUDINAL SECTION SCALE: 1/4"=1'-0"



BB CROSS SECTION SCALE: 1/4"=1'-0"

LEGEND

ROOM OR AREA NO.	ROOM OR AREA DESCRIPTION	FLOOR		BASE		WALLS		WAINSCOT		CEILING		CASEWORK		FOOTNOTES
		FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	FINISH	TYPE	
1	ENTRANCE	TILE	...	...	...	...	...	...	...	...	...	...	...	
2	LIVING ROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
3	DINING ROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
4	KITCHEN	TILE	...	...	...	...	...	...	...	...	...	...	...	
5	BREAKFAST ROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
6	FAMILY ROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
7	LAUNDRY	TILE	...	...	...	...	...	...	...	...	...	...	...	
8	MASTER BEDROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
9	MASTER BATHROOM	TILE	...	...	...	...	...	...	...	...	...	...	...	
10	BATHROOM #2	TILE	...	...	...	...	...	...	...	...	...	...	...	
11	BATHROOM #3	TILE	...	...	...	...	...	...	...	...	...	...	...	
12	BATHROOM #4	TILE	...	...	...	...	...	...	...	...	...	...	...	
13	BATHROOM #5	TILE	...	...	...	...	...	...	...	...	...	...	...	
14	BATHROOM #6	TILE	...	...	...	...	...	...	...	...	...	...	...	
15	BATHROOM #7	TILE	...	...	...	...	...	...	...	...	...	...	...	
16	2ND FLOOR HALLWAY	TILE	...	...	...	...	...	...	...	...	...	...	...	
17	2ND FLOOR HALLWAY	TILE	...	...	...	...	...	...	...	...	...	...	...	
18	2ND FLOOR HALLWAY	TILE	...	...	...	...	...	...	...	...	...	...	...	
19	2ND FLOOR HALLWAY	TILE	...	...	...	...	...	...	...	...	...	...	...	
20	2ND FLOOR HALLWAY	TILE	...	...	...	...	...	...	...	...	...	...	...	

DOOR	LOCATION	FOOTNOTES	DOOR		FRAME		DETAILS	
			TYPE	FINISH	TYPE	FINISH	TYPE	FINISH
1	ENTRANCE	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
2	FAMILY ROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
3	MASTER BEDROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
4	MASTER BATHROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
5	BATHROOM #2	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
6	BATHROOM #3	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
7	BATHROOM #4	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
8	BATHROOM #5	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
9	BATHROOM #6	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
10	BATHROOM #7	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...

WINDOW	LOCATION	FOOTNOTES	WINDOW		FRAME		DETAILS	
			TYPE	FINISH	TYPE	FINISH	TYPE	FINISH
1	ENTRANCE	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
2	FAMILY ROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
3	MASTER BEDROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
4	MASTER BATHROOM	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
5	BATHROOM #2	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
6	BATHROOM #3	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
7	BATHROOM #4	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
8	BATHROOM #5	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
9	BATHROOM #6	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...
10	BATHROOM #7	1. ALL GLAZING TO BE CLEAR TINTED GLASS 2. SEE DETAILS 8.9 SHEET ALSO FOR BEAR HEAD, JAMB, DETAILS.	...	...	...	...	...	...

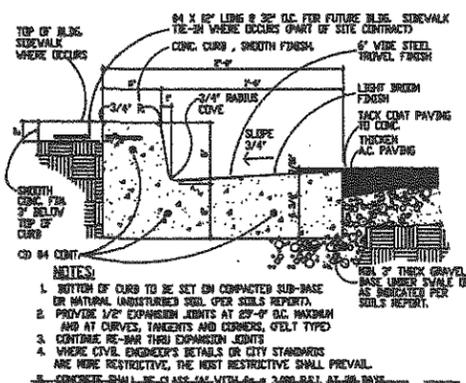
**NATURAL LIGHT AND FRESH AIR ANALYSIS**

ROOM NAME	ROOM AREA	TRANSPARENT AREA	OPEN AREA	10% NATURAL LIGHT	FRESH AIR
MASTER BEDRM.	221 S.F.	43 S.F.	21.5 S.F.	22.1 S.F.-OK	11.05 S.F.-OK
FAMILY ROOM	84 S.F.	16 S.F.	8 S.F.	8.4 S.F.-OK	4.2 S.F.-OK
LIVING ROOM	187.5 S.F.	54 S.F.	27 S.F.	18.75 S.F.-OK	9.375 S.F.-OK
DINING ROOM	126 S.F.	43 S.F.	21.5 S.F.	12.6 S.F.-OK	6.3 S.F.-OK
BEDROOM #1	139.5 S.F.	36 S.F.	18 S.F.	13.95 S.F.-OK	6.975 S.F.-OK
BEDROOM #2	195 S.F.	32 S.F.	16 S.F.	19.5 S.F.-OK	9.75 S.F.-OK
BEDROOM #3	149.5 S.F.	36 S.F.	18 S.F.	14.95 S.F.-OK	7.475 S.F.-OK

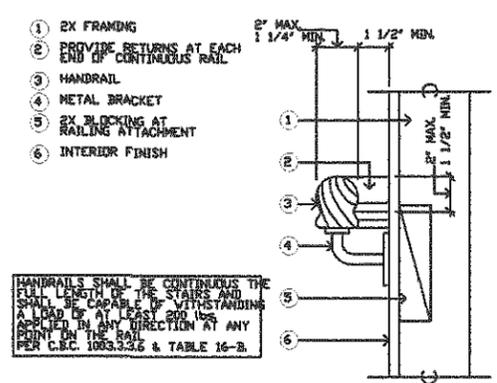
**ATTIC VENTILATION ANALYSIS**

ATTIC AREA @ UPPER ROOF=1097 S.F.  
ATTIC VENTILATION REQUIRED =1097/150=7.29 S.F.  
ATTIC VENTILATION PROVIDED =10x16x6/144+2x37.5/144 =6.7+1.95=8.65 S.F.

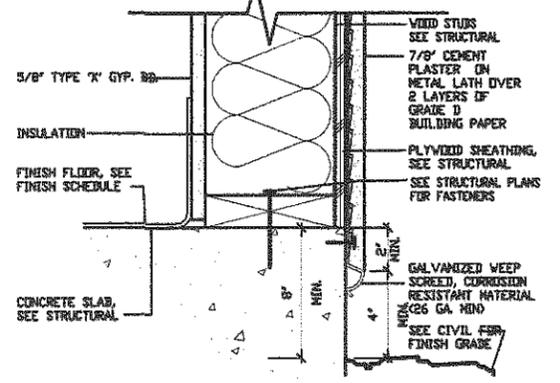
ATTIC AREA @ LOWER ROOF=1365 S.F.  
ATTIC VENTILATION REQUIRED =1365/150=9.1 S.F.  
ATTIC VENTILATION PROVIDED =14x6x16/144 =9.3 S.F.



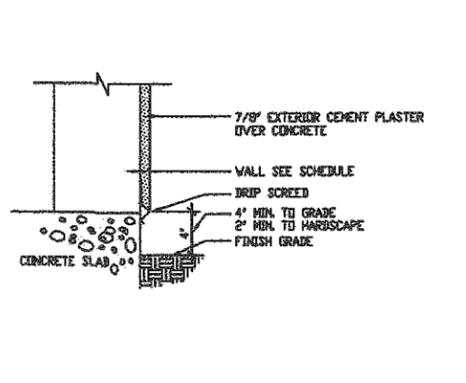
CURB AND GUTTER AT PLANTER 4



HANDRAIL DETAIL 3

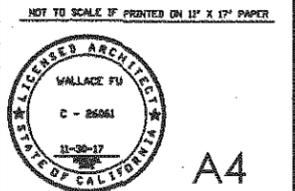


BASE AT PLASTER WALL 2



DRIP SCREEP/STUCCO STOP 1

DATE: October 05, 2018  
PROJECT NO: 17-041  
SCALE: AS NOTED  
DRAWN BY: JCL  
CHECK BY: WYF



**CITY OF EL MONTE MODIFICATION COMMITTEE  
NOTICE OF PUBLIC HEARING**

**Hablamos Español favor de hablar con  
Sandra Elias (626) 258 - 8621**

**TO:** All Interested Parties

**FROM:** City of El Monte Planning Division

**PROPERTY LOCATION:** 10527 Hickson Street/ APN: 8576-025-020

**APPLICATION:** Modification No. 37-19

**REQUEST:** The Applicant is requesting a modification to reduce the required second story side yard setback from 5'-0" to 2'-0" from the first floor for the construction of a new, two-story, 2,100 square foot Single Family Residence. The subject site is located in the R-1A (One-family Dwelling) zoning district. This request is made pursuant to Chapter 17.20 (Modification/Variance) of the El Monte Municipal Code (EMMC).

**APPLICANT:** Wallace Fu  
40 E. Huntington Dr.  
Arcadia, CA, 91006

**PROPERTY OWNER:** Yan Zhang  
10527 Hickson Street  
El Monte, CA, 91731

**ENVIRONMENTAL DOCUMENTATION:** Article 19. Categorical Exemptions – Section 15303 (New Construction or Conversion of Small Structures) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

**PLACE OF HEARING:** Pursuant to State Law, the Modification Committee will hold a public hearing to receive testimony, orally and in writing, on the proposed project. The public hearing is scheduled for:

Date: Tuesday, January 7, 2020  
Time: 5:00 p.m.  
Place: El Monte City Hall West – Conference Room A  
11333 Valley Boulevard, El Monte, California

Persons wishing to comment on the environmental documentation or proposed application may do so orally or in writing at the public hearing or in writing prior to the meeting date. Written comments shall be sent to Adrian Perez; El Monte City Hall West; 11333 Valley Boulevard; El Monte, CA 91731 or at [aperez@elmonteca.gov](mailto:aperez@elmonteca.gov). If you challenge the decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Planning Division at, or prior to, the public hearing. For further information regarding this application please contact Adrian Perez at [aperez@elmonteca.gov](mailto:aperez@elmonteca.gov) or (626)258-8620 Monday through Thursday, except legal holidays, between the hours of 7:00 a.m. and 5:30 p.m.

Published: Thursday, December 26, 2019 City of El Monte Modification Committee  
Mailed: Monday, December 23, 2019 Cristina Graciano, Modification Committee Secretary





**TO:** MODIFICATION COMMITTEE

**FROM:** BETTY DONAVANIK  
COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

JASON C. MIKAELIAN, AICP  
CITY PLANNER

**BY:** SANDRA ELIAS  
ASSISTANT PLANNER

**SUBJECT:** MODIFICATION NO. 33-19

**LOCATION:** 4453 CEDAR AVENUE

**APPLICANT:** ANH DUONG  
C/O ANDREW MA  
4453 CEDAR AVENUE  
EL MONTE, CA 91732

**PROPERTY OWNERS:** ANH DUONG  
TAI PHUOC DUONG  
4453 CEDAR AVENUE  
EL MONTE, CA 91732

**ENVIRONMENTAL DETERMINATION:** ARTICLE 19 CATEGORICAL EXEMPTION,  
SECTION 15303 (CLASS 3- NEW CONSTRUCTION OR  
CONVERSION OF SMALL STRUCTURES) IN ACCORDANCE  
WITH THE REQUIREMENTS OF THE CALIFORNIA  
ENVIRONMENTAL QUALITY ACT OF 1970 AND THE CEQA  
GUIDELINES, AS AMENDED

**RECOMMENDATION:** ADOPT A CATEGORICAL EXEMPTION & APPROVE  
MODIFICATION NO. 33-19, SUBJECT TO CONDITIONS

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**REQUEST**

The applicant requests the approval of Modification No. 33-19 to reduce the rear yard setback from 20'-0" to 5'-0" to allow the legalization of an unpermitted 396 sq. ft. patio located at the rear of an existing 1,129 sq. ft. single-family residence. The subject site is located in the R-1-B (One-Family Dwelling) zoning district. This request is made pursuant to Section 17.20 of the El Monte Municipal Code (EMMC).

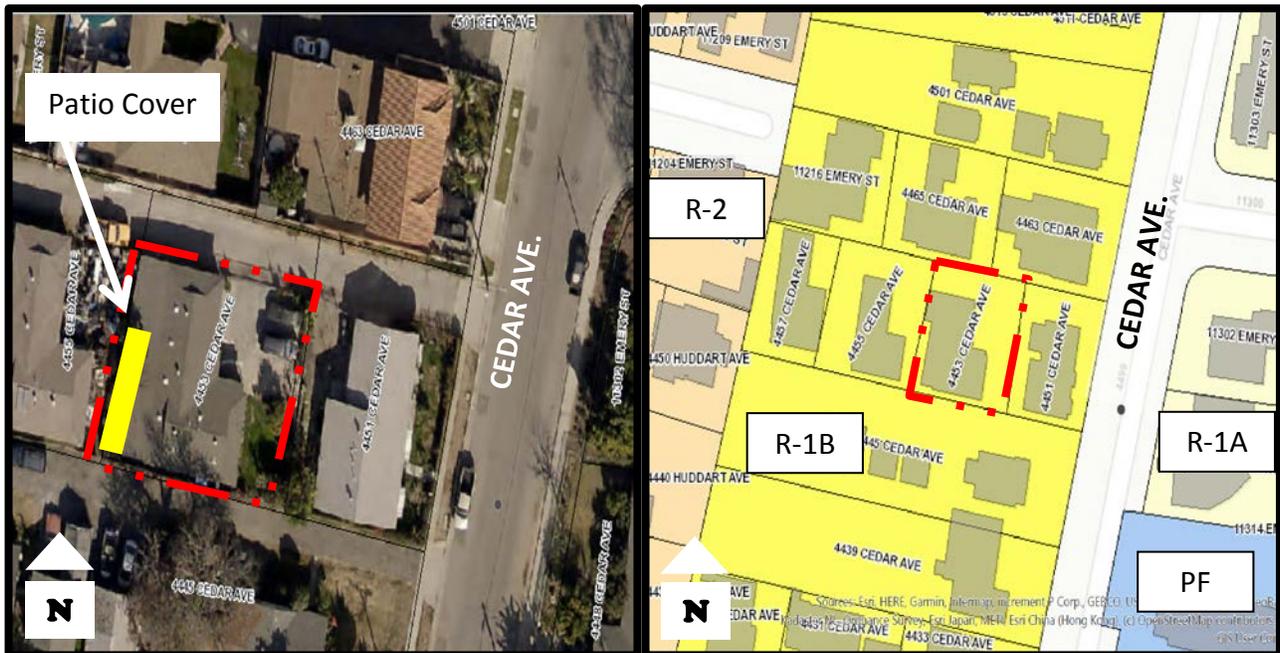
**SUBJECT PROPERTY:**

<b>Location:</b>	South of Emery Street, east of Huddart Avenue
<b>General Plan:</b>	Low Density Residential (Maximum 6 DU/acre)
<b>Zone:</b>	R-1-B (One-Family Dwelling)
<b>Street Frontage:</b>	84' feet wide with no street frontage; access to site via a common driveway
<b>Lot Size:</b>	6,532 square feet (.15 acres)
<b>Existing Site Improvements:</b>	Single-Family Residence with an attached 400 sq. ft. garage

**SURROUNDING PROPERTIES:**

	<b>General Plan:</b>	<b>Zoning:</b>	<b>Land Use:</b>
<b>North:</b>	Low Density Residential	R-1B (One-Family Dwelling)	Single-Family Residential
<b>South:</b>	Low Density Residential	R-1B (One-Family Dwelling)	Multi-Family Residential
<b>West:</b>	Low Density Residential	R-1B (One-Family Dwelling)	Single-Family Residential
<b>East:</b>	Low Density Residential	R-1B (One-Family Dwelling)	Single-Family Residential

**AERIAL PHOTO AND ZONING:**



## **BACKGROUND**

The property is currently improved with a one-story 1,129 square foot single-family dwelling with an attached 400 square foot garage. The applicant is requesting to reduce the required rear setback from 20'-0" to 5'-0" to legalize an unpermitted 396 square foot patio located at the rear of the dwelling. The initial request by the applicant included the request to reduce the required rear setback to 4'-0" to legalize a 616 square foot patio. Upon a recommendation by staff, the applicant revised the initial plans by reducing the patio from 616 square feet to 396 square feet. All required permits shall be issued prior to demolishing any portion of the unpermitted patio. Additionally, Code Enforcement Division records indicate that there is an existing 400 square foot unpermitted garage conversion existing on the property. The garage is proposed to be converted back to its intended use (for the storage of vehicles) upon the issuance of all required permits. The storage shed depicted on the plans is approximately 30 square feet and does not require a permit. The storage shed will be removed by the owner.

## **PROJECT ANALYSIS**

### **Development Standards**

Table 1 below provides the development standards for the R-1B zone and determines whether the proposed project complies with each standard.

***Table 1. Development Standards***

<b>Development Feature</b>	<b>R-1B Requirement</b>	<b>Proposed</b>	<b>Meet Requirement(s)?</b>
Minimum Lot Area per Dwelling	6,000 sf	6,532 sf	Yes
Front Yard Setback	20'	22'	Yes
Side Yard Setback(s)	5'	5'	Yes
Rear Yard Setback	20'	5'-0"	<b>No; Modification requested</b>
Height	2.5 stories and 35'	13'-6"	Yes
Lot Coverage	40%	29%	Yes
FAR	35%	17%	Yes
Parking	2-car garage (20'x20')	2-car garage (20'x20')	Yes

## **FINDINGS OF FACT**

In order to approve the project, the Modification Committee is required to make certain findings. Section 17.20.020 (EMMC) - Necessary conditions outlines the four (4) required findings and conditions to be met in order to approve any Modification:

### **FINDING:**

- A. There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity;

### **FACT:**

There are exceptional or extraordinary circumstances or conditions applicable to the property involved due to the existing setting including the accessibility to the subject property and the layout of the existing structures. The subject site can be accessed through a shared/common driveway (shared by a total of four (4) units) along Cedar Avenue. Furthermore, the existing single-family residence and garage are legal non-conforming in that the rear setback is not consistent with current standards thereby restricting the property owner from making improvements to the rear of the property.

### **FINDING:**

- B. The granting of such variance will not be materially detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity in which the property is located;

### **FACT:**

Granting the Modification will not be detrimental to the public health or welfare or injurious to the properties in the vicinity. The proposed patio is intended to provide shelter to allow the resident to maximize the benefit of the rear yard. There will be no impacts to nearby properties such as daylight obstruction, visual blight, etc. Moreover the property will remain under the maximum Floor Area Ratio (FAR) and lot coverage.

### **FINDING:**

- C. Because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under the identical zone classifications;

### **FACT:**

Staff has determined that the requested modifications can be supported due to existing circumstances of the property including the layout of the existing structures. The single-family dwelling and attached garage were constructed prior to current code

requirements. The existing structures are legal non-conforming in that the rear yard setback is currently deficient which thereby deprives the property owner of improvements/expansions to the rear of the property. The proposed project will be consistent with adjacent properties with a similar structural layout.

**FINDING:**

- D. The granting of such variance will not adversely affect the comprehensive general plan.

**FACT:**

The approval of such modification to reduce the required rear yard setback from 20 feet to 5'-0" will not adversely affect the comprehensive General Plan. Policy LU-1.1-Code Compliance, ensures land compatibility through adherence to the policies, standards, and regulations in the Municipal Code; Policy LU-1.6-Quality of Life, encourages protecting the quality of life of residents. Allowing the legalization of the existing patio located at the rear of the property and a deviation from the required rear yard setback will provide an amenity that the resident can benefit from thus providing better quality of life for its residents.

**CONDITIONS OF APPROVAL:**

1. The project shall substantially conform to the site plan, floor plan and elevation plans on file with the City's Planning Division and as presented to the Modification Committee on January 21, 2020 and as amended herein.
2. Plans shall comply with all City Department/Divisions regulations and guidelines including Building, Engineering, Planning and the Los Angeles County Fire Department.
3. The approval of Modification No. 33-19 is valid for one (1) year from the date of approval. During this time period, the applicant is responsible for obtaining the required City permit(s) for the proposed project.
4. A copy of the final decision letter with the conditions of approval to be submitted with the building plans.
5. The reversion of the unpermitted garage conversion to its original intended use (for the storage of vehicles) and the unpermitted portion of patio to be demolished are subject to the issuance of all required permits.
6. Rear and front yard setbacks shall have properly maintained landscape areas. The applicant shall provide details and specifications on the Site Plan for all proposed landscaping/planting materials.
7. The rear patio shall be finished with building/finish materials that complement the existing residence.

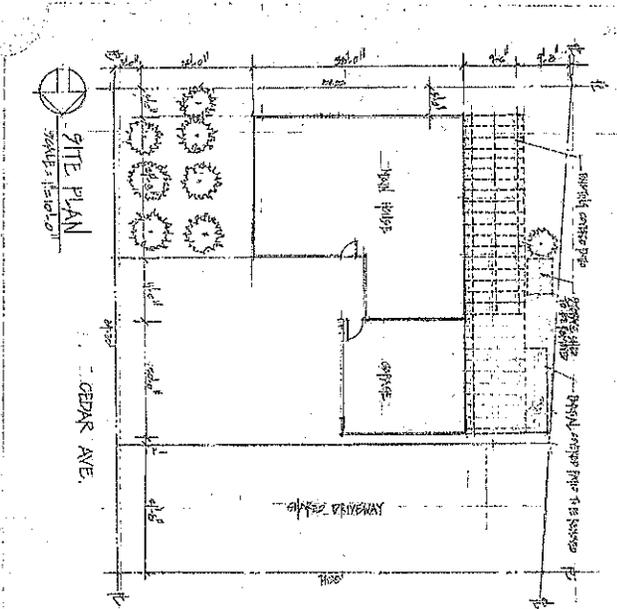
**RECOMMENDATION:**

Staff recommends that the Modification Committee evaluate the proposal and consider the following Action:

1. Adopt a Categorical Exemption under Section 15303 (Class 3- New Construction or Conversion of Small Structures) pursuant to the California Environmental Quality Act and Guidelines, as amended and;
2. Adopt the finding of Facts to approve Modification No. 33-19, subject to the conditions of approval.

**ATTACHMENTS:**

- A. Project Plans
- B. Public Hearing Notice
- C. Radius Map
- D. Site Posting Photo



**EXISTING COVERED PATIO @ REAR YARD  
MODIFICATION**  
4453 CEDAR AVE., EL MONTE, CA 91732

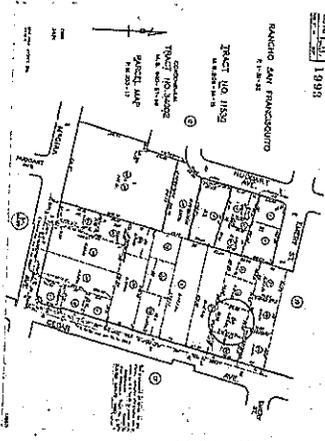
**SCOPE OF WORK:**  
TO APPLY FOR MODIFICATION OF AN EXISTING COVERED PATIO AT REAR YARD OF THE PROPERTY.

**PROPERTY INFORMATION:**  
ZONE: EMHABY  
NO. OF STORY: ONE  
LOT SIZE: 6,532 S.F.  
LIVING AREA: 1,129 S.F.  
AREA OF GARAGE: 400 S.F.  
AREA OF COVERED PATIO: 11' X 36' = 396 S.F.  
LOT COVERAGE: 29.4%  
TYPE OF CONSTRUCTION: VB  
FIRE SPRINKLER: NO  
A.P.N.: 8570 011 035

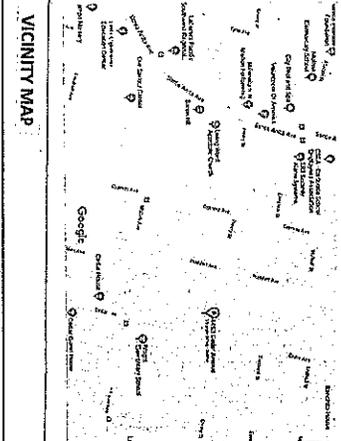
**PROPERTY ADDRESS:**  
4453 CEDAR AVE  
EL MONTE, CA 91732

**PROPERTY OWNER:**  
DUONG TAI P & ANH T  
ADD: 4453 CEDAR AVE  
EL MONTE, CA 91732  
TEL: (626) 759-1597

**DESIGNER:**  
ANDREW MA  
ADD: P.O. BOX 1733  
MONTEREY PARK, CA 91754  
TEL: (626) 202-3648  
EMAIL: AMAS97@YAHOO.COM

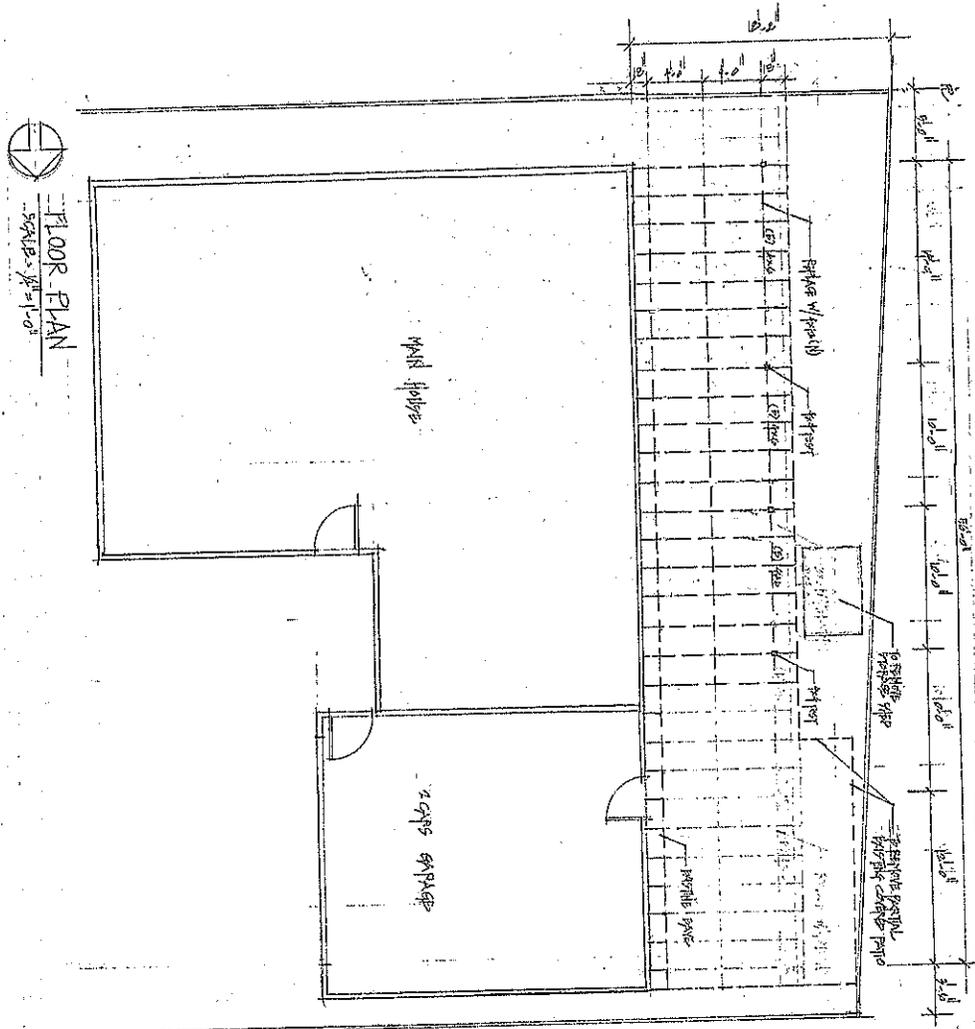


**PARCEL MAP**



**VICINITY MAP**

OWNER: DUONG TAI P AND ANH T. 4453 CEDAR AVE. EL MONTE, CA 91732	PROJECT: COVERED PATIO @ REAR YARD MODIFICATION	SITE PLAN	AMA DESIGNER ANDREW MA P.O. BOX 1733 MONTEREY PARK, CA 91754 TEL: (626) 202-3648 E-mail: AMAS97@Yahoo.com	Revisions: By: Date:
DATE: 10/15/2019	SCALE: 1/4" = 1'-0"	CHECKED: [Signature]	DRAWN: MA	JOB: 10-2019
Sheet: A1	of: 2			




  
 FLOOR PLAN
   
 SCALE: 1/8" = 1'-0"

DATE	10/15/2018
SCALE	1/8" = 1'-0"
DRAWN	MA
CHECKED	
DATE	10-20-18
SHEET	A2
OF	3 SHEETS

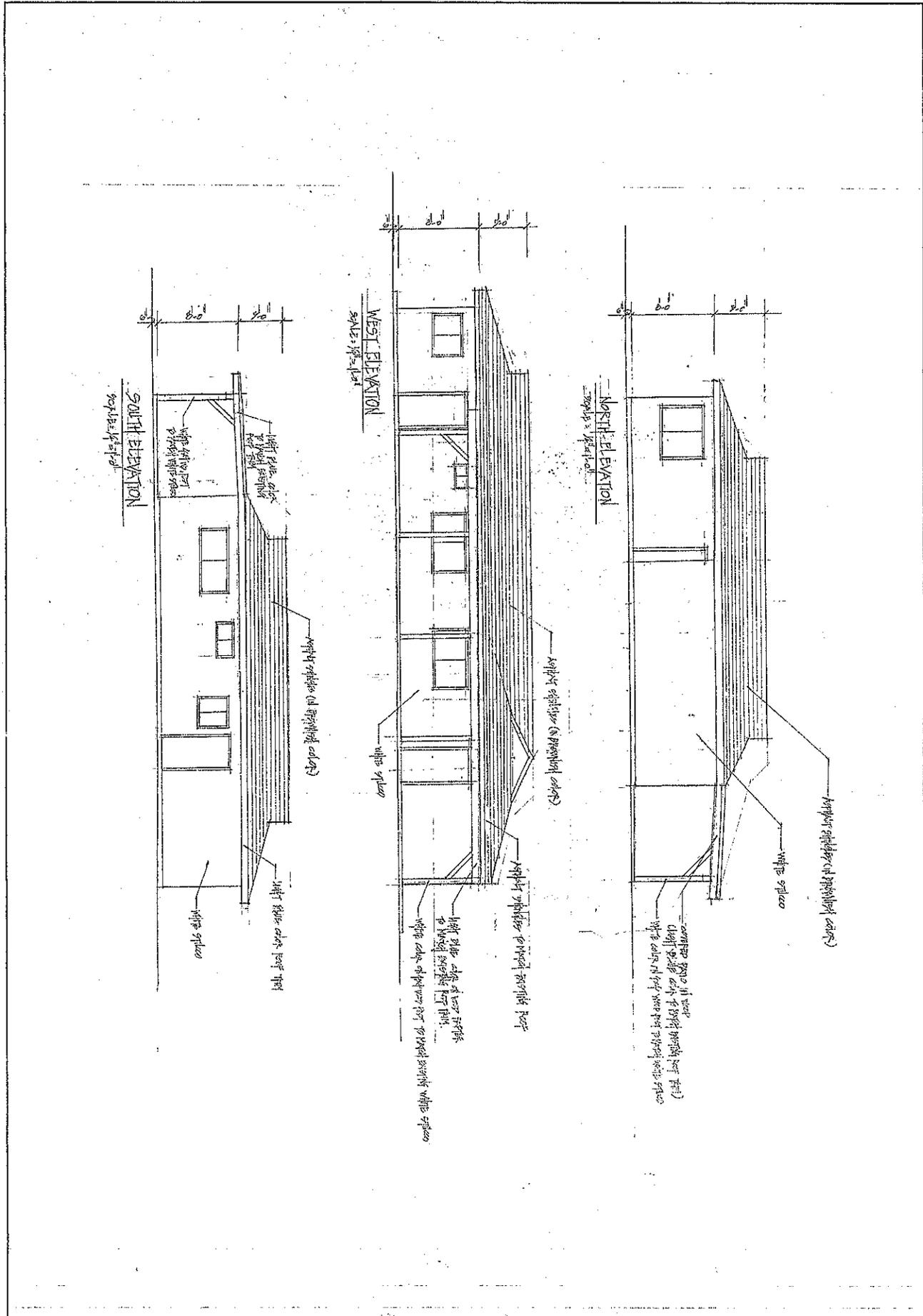
OWNER:  
 DUONG TAI P AND ANH T.  
 4453 CEDAR AVE.  
 EL MONTE, CA 91732

PROJECT:  
 COVERED PATIO @  
 REAR YARD MODIFICATION

FLOOR PLAN

AIA DESIGN STUDIO  
 ANDREW MA  
 P.O. BOX 1783  
 MONTEREY PARK, CA 91754  
 TEL. (626) 202-3848  
 E-mail: AMA9292@yahoo.com

REVISIONS	BY



Date: 10/15/2018  
 Scale: 1/8" = 1'-0"  
 Drawing No.:  
 Job No.: 10-2018  
 Sheet:  
**A3**

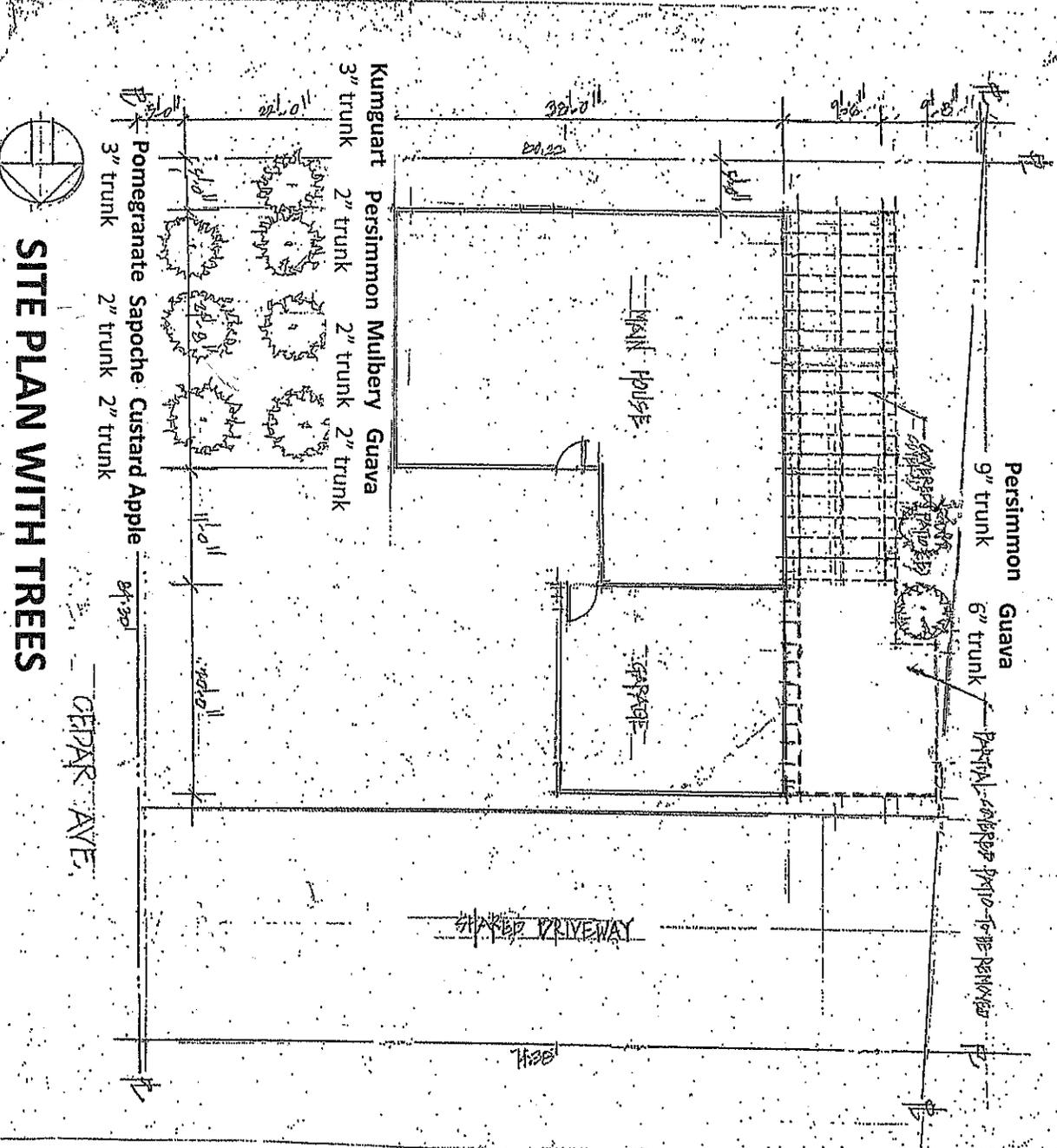
**OWNER:**  
 DUONG TAI P. AND ANH T.  
 4453 CEDAR AVE.  
 EL MONTE, CA 91732

**PROJECT:**  
 COVERED PATIO @  
 REAR YARD MODIFICATION

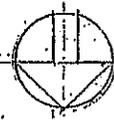
**ELEVATIONS**

AMA DESIGN STUDIO  
 ANDREW MA  
 P.O. BOX 1739  
 MONTEREY PARK, CA 91754  
 TEL: (626) 262-3648  
 E-mail: AMA8202@yahoo.com

Revisions	



**SITE PLAN WITH TREES**



**CITY OF EL MONTE MODIFICATION COMMITTEE  
NOTICE OF PUBLIC HEARING**

**Hablamos Español favor de hablar con  
Sandra Elias (626) 258-8621**

**TO:** All Interested Parties

**FROM:** City of El Monte Planning Division

**PROPERTY LOCATION:** 4453 Cedar Avenue / APN: 8570-011-035

**APPLICATION:** Modification No. 33-19

**REQUEST:** The Applicant is proposing to legalize an approximately 396 sq. ft. patio cover located at the rear of an existing single-family residence. Modification No. 33-19 is requested to modify the rear yard setback from the required 20'-0" to 5'-0" to legalize the patio cover. The subject site is located in the R-1B (One-family Dwelling) zoning district. This request is made pursuant to Chapter 17.20 of the El Monte Municipal Code (EMMC).

**APPLICANT/  
PROPERTY OWNER:** Anh Duong  
4453 Cedar Avenue  
El Monte, CA, 91732

**ENVIRONMENTAL DOCUMENTATION:** Article 19. Categorical Exemptions – Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in accordance with the requirements of the California Environmental Quality (CEQA) Act of 1970 and the CEQA Guidelines, as amended.

**PLACE OF HEARING:** Pursuant to State Law, the Modification Committee will hold a public hearing to receive testimony, orally and in writing, on the proposed project. The public hearing is scheduled for:

Date: **Tuesday, January 21, 2020** (*Continued from January 7, 2020*)  
Time: 5:00 p.m.  
Place: El Monte City Hall West – Conference Room A  
11333 Valley Boulevard, El Monte, California

Persons wishing to comment on the environmental documentation or proposed application may do so orally or in writing at the public hearing or in writing prior to the meeting date. Written comments shall be sent to Sandra Elias; El Monte City Hall West; 11333 Valley Boulevard; El Monte, CA 91731 or at selias@elmonteca.gov. If you challenge the decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City Planning Division at, or prior to, the public hearing. For further information regarding this application please contact Sandra Elias at selias@elmonteca.gov or (626) 258-8621 Monday through Thursday, except legal holidays, between the hours of 7:00 a.m. and 5:30 p.m.

Published: Thursday, December 26, 2019  
Mailed: Monday, December 23, 2019

City of El Monte Modification Committee  
Cristina Graciano, Modification Committee Secretary



**4453 Cedar Avenue – Public Notice Site Posting**

